



WESTMINSTER

**Historic Landmark Board Meeting Agenda
February 26, 2020
7:00 pm**

**Westminster City Hall,
Council Chambers
4800 West 92nd Avenue**

1. ROLL CALL
2. CONSIDERATION OF MINUTES OF PRECEDING MEETING – November 27, 2019
(minutes attached, motion requested)
3. NEW BUSINESS
 - a. Public hearing for certificate of historic appropriateness for alterations proposed at 3915 West 73rd Avenue (memo, application, and resolution attached)
(Rich Neumann and Stephanie Troller, Business Development Manager/Economic Development)
 - b. Discussion of 2020 goals from Boards and Commissions Onboarding Session
 - i. Historic Marker Program and
 - ii. Inclusive Awareness Campaign
4. CONSIDERATION OF OLD BUSINESS
 - a. Updates on historic properties (list attached)
5. OTHER BUSINESS
 - a. Conferences, education, other updates
 - b. The remaining regular meetings of the Historic Landmark Board scheduled for calendar year 2020 are (additional dates may be added if necessary):
 - Wednesday, June 24, 2020, 7 p.m.
 - Wednesday, August 26, 2020, 7 p.m.
 - Wednesday, October 28, 2020, 7 p.m.
6. ADJOURNMENT

Historic Landmark Board Meeting Minutes November 27, 2019

The regular meeting of the Historic Landmark Board was called to order at 7:00 p.m. by Matthew Bell, Interim Board Chair.

1. ROLL CALL

Board members present at roll call: Matthew Bell, Kaaren Hardy, Linda Graybeal, Mary Oswell, Tennille Wood.

Excused absences: Gargi Duttgupta, James Browning, Anna Leske (alt.).

Parks, Recreation and Libraries staff members present: Rich Neumann – Cultural Affairs Administrator.

Also present was Westminster City Councillor Lindsey Smith who serves as City Council liaison to the Historic Landmark Board.

2. CONSIDERATION OF THE MINUTES

Linda Graybeal made a motion to approve the minutes of the June 26, 2019 meeting, as presented. The motion was seconded by Mary Oswell. The minutes were approved (5-0).

3. NEW BUSINESS

- a) Public hearing for certificate of historic appropriateness for Semper Farm Barn and Garage roof replacement project.
 - Rich Neumann provided a Powerpoint presentation regarding a roof replacement project proposed for the Semper Farm Barn and Garage, located at 9215 Pierce Street, Jefferson County, Westminster, Colorado, outlining the public notice requirements and criteria that the Board must consider in evaluating the project for a certificate of historic appropriateness.
 - Notice of public hearing was published in the *Westminster Window* on November 14, 2019. A noticing sign was posted at the property on November 14, 2019. The agenda for the meeting was posted in City Hall on November 18, 2019. The meeting packet was distributed to the HLB members and posted to the Board's webpage on November 18, 2019.
 - Staff recommended that the Board approve the certificate of historic appropriateness for the project based on a finding that the public hearing and public noticing requirements in Section 11-13-7, Westminster Municipal Code, have been met and that the Board has reviewed the criteria in Section 11-13-10 (H)(1-11), Westminster Municipal Code, in relation to the proposed project.
 - Staff member Rich Neumann explained that the garage roof and the barn roof are both currently covered with asphalt roofing materials, but must be replaced due to

age-related wear. Staff also presented quotes for two options regarding replacement material: asphalt or cedar shake.

- After discussion, the Board recommended replacing the garage roof with asphalt (the garage is not included in the historic designation) and the barn (also referred to as the “shed” on the quotes obtained by the roofing contractor) with cedar shake matching recent repairs made to the Semper house.
- The hearing was opened up for public comment. There was no public comment.
- The applicants were asked to provide any further comments. There were no comments to add.
- City staff was asked for any further comments. There were no comments from City staff.
- The public hearing was closed and a motion was requested for approval or denial of the proposal with findings of fact. Linda Graybeal moved that the Historic Landmark Board approve the certificate of historic appropriateness resolution, as outlined. Tennille Wood seconded the motion. The motion passed unanimously.

b) Public hearing for historic landmark designation for Westminster Presbyterian Church Sanctuary.

- Rich Neumann provided a Powerpoint presentation regarding an application to designate the Westminster Presbyterian Church Sanctuary at 3990 West 74th Avenue as a local historic landmark. The presentation outlined the public notice requirements and criteria that the Board must consider in evaluating the application for historic landmark designation.
- Notice of public hearing was published in the *Westminster Window* on November 14, 2019. A noticing sign was posted at the property on November 14, 2019. The agenda for the meeting was posted in City Hall on November 18, 2019. The meeting packet was distributed to the HLB members and posted to the Board’s webpage on November 18, 2019.
- Staff recommended the Board determine if the Westminster Presbyterian Church Sanctuary meets the criteria to be designated as a local historic landmark pursuant to Section 11-13-5, W.M.C.
- Applicant Bob Briggs, immediate Past President of the Westminster Presbyterian Church and congregation member since 1961, addressed the Board from the podium.
- Mary Oswell requested the definition of a pony wall, one of the church features identified for preservation. Tennille Wood explained that a pony wall is a partial wall (i.e. not full-height wall), often times used on a building’s exterior as a retaining wall.
- Matthew Bell opened the meeting up for questions from the Board.

- Kaaren Hardy requested clarification on history of the congregation. Bob Briggs explained that the first meeting of the congregation occurred on the first Sunday of January 1892 at the Bowles House. The group later met at the Grange Hall and a building near 80th and Lowell. Group purchased the land the current church occupies in 1922. Linda Graybeal illustrated that the congregation is much older than the building proposed for historic designation.
- Board member Tennille Wood disclosed that she is related to Westminster Presbyterian Church's current President, Ron Hellbusch.
- The hearing was opened up for public comment. There was no public comment.
- City staff was asked for any further comments. Rich Neumann referenced the fact that the City's Department of Community Development provided detailed feedback on the application; this feedback was included in the Board's meeting packet.
- Rich Neumann notified the Board that the application will be scheduled for public hearing before the City Council, who will consider a resolution for final designation of the property. This public hearing is currently set for January 13, 2020.
- Additional feedback from the Board was invited; Linda Graybeal asked that all references to the cottonwood tree be removed from feedback provided by the Westminster Historical Society; the cottonwood tree does not exist on the property seeking historic designation.
- The public hearing was closed and a motion was requested for approval or denial of the proposal with findings of fact. Kaaren Hardy moved that the Historic Landmark Board approve the historic landmark designation resolution, as outlined. Mary Oswell seconded the motion. The motion passed unanimously (5-0).

4. **CONSIDERATION OF OLD BUSINESS**

a) Updates on historic properties

Rich Neumann offered updates on the following properties:

- Semper/Allison Farm: Quotes being gathered for roof replacement on barn and garage.
- Schoenberg Farm: Quotes being gathered for replacement of two broken windows (pumphouse and milk house).
- Wesley Chapel Cemetery: Construction of the brick pillars has begun. Foundations are complete. Following the column completion, the fencing contractor will install gates and iron style decorative fencing. The second phase of work will be to construct the small gravel parking area and gravel footpath to the cemetery entrance on the north side. Along with this will be tree plantings along Huron and 122nd. A schedule for this work has not been determined, and the City is looking to self-perform this second phase work in spring 2020.

- Metzger Farm: Historic signage in fabrication. All other site projects completed. Open Space is working with the academy school across the street to re-establish the historic Victory garden on site as a collaborative project that will bring k-12 students to the farm. Agreement is anticipated to be completed in January 2020, with work on the garden in the spring.
- Margaret O' Gorman House: COHA approved by HLB for sewer line repair and HVAC installation.
- Mary Oswell expressed disappointment that buildings on the Schoenberg property have been empty for an extended period of time.
- Kaaren Hardy asked if the Rodeo Market property at 3915 West 73rd Avenue would come before the Board prior to the commencement of construction of a proposed restaurant at that site; Rich Neumann confirmed yes.

5. **OTHER BUSINESS**

a) Conferences, education, other updates

- Kaaren Hardy encouraged board members to attend Colorado Preservation, Inc.'s Saving Places Conference January 29-February 1, 2020 at the Sheraton Downtown Denver.
- Linda Graybeal invited board members to attend Westminster Historical Society's Home Town Christmas on Thursday, December 5 from 6:15-8:30 p.m. next to Fire Station 1.
- Linda Graybeal invited the board to also attend the annual Victorian Christmas event at the Bowles House on Saturday, December 7 from 10 a.m. to 2 p.m. at 72nd and Newton.
- Councilmember Lindsey Smith, the new Council Liaison to the Historic Landmark Board, was in attendance of the meeting and introduced herself at the podium.

6. **ADJOURNMENT**

The meeting adjourned at 7:47 p.m.

THE WESTMINSTER HISTORIC LANDMARK BOARD

Matthew Bell, Interim Board Chair



WESTMINSTER

Agenda Memorandum

Agenda Item – 3.a)

Historic Landmark Board Meeting
February 26, 2020

SUBJECT: Review and action for certificate of historic appropriateness for 3915 West 73rd Avenue Westminster, CO 80030.

Prepared By: Rich Neumann, Cultural Affairs Administrator

Recommended Board Action: Review and approve the request for a certificate of historic appropriateness for 3915 West 73rd Avenue, Adams County, Westminster, Colorado.

Discussion and Description of Project: An application for certificate of historic appropriateness has been prepared by City staff for review and approval by the Historic Landmark Board for 3915 West 73rd Avenue Westminster, Colorado.

Public Hearing: Pursuant to the Westminster Municipal Code Section 11-13-10 (A), the Historic Landmark Board is responsible for reviewing alterations to structures that have been designated as local historic landmarks and for which a building permit is required. If the alterations are acceptable to the Historic Landmark Board, the Board may approve a certificate of historic appropriateness resolution. When application is made for a building permit for the alterations, the certificate of historic appropriateness will document to the City's Building Division that the alterations have been accepted by the Historic Landmark Board.

Public Notification: Westminster Municipal Code Sections 11-13-10 (F) and (G) require public notification with publication and posting for public hearings for certificates of historic appropriateness. Notice of the public hearing before the Historic Landmark Board was published in the Westminster Window on February 13, 2020. A noticing sign was posted at the property on February 13, 2020. The agenda for the meeting was posted in City Hall on February 17, 2020. The meeting packet was distributed to the HLB members and posted to the Board's webpage on February 18, 2020.

Respectfully submitted,

Rich Neumann
Cultural Affairs Administrator – Parks, Recreation and Libraries

Attachments:

- Application for certificate of historic appropriateness
- Resolution No. 2019-04 – certificate of historic appropriateness for 3915 West 73rd Avenue Westminster, Colorado 80030



WESTMINSTER

APPLICATION FOR CERTIFICATE OF HISTORIC APPROPRIATENESS 3915 West 73rd Avenue, Adams County, Westminster, Colorado

1. Application Information Prepared by:
J & T Consulting, Inc.
305 Denver Ave – Suite D
Fort Lupton, CO 80621
2. Landmark Information:
 - a. Historic Name: Rodeo Market
 - b. Name of Current Owner: City of Westminster
 - c. Other Name by Which this Landmark May be Known: Rodeo Market Community Art Center
 - d. Address of Landmark: 3915 W 73rd Ave, Westminster, CO 80030
3. Legal Description of Property on Which Landmark is Located: SUB:HARRIS PARK BLK:35
DESC: BEG 60 FT W OF THE SE COR OF BLK 35 TH E ALG N LN OF 73RD AVE (WALNUT ST) 140 FT TO SW COR OF HOUSE'S RESUBD OF BLK 34 HARRIS PARK TH N ALG W LN BLK 34 A DIST OF 120 FT TH W 140 FT TH S 120 FT TO POB
4. UTM Coordinates: Zone 13 E:496652, N:4408810
5. Property Owner Information:
Publicly Owned by City of Westminster
4800 West 92nd Avenue
Westminster, CO 80031
City Manager: Donald R. Tripp
6. Historic Use:
Operated as the first large “supermarket” in Westminster and the last major commercial construction along W. 73rd Ave, the historic commercial center of town.
7. Current Use: Currently vacant
8. Describe the Current Condition of Landmark: Stable
9. Landmark Information:
 - a. Year of Construction: 1953
 - b. Architect or Builder or Designer: Unknown
 - c. Description of Landmark: light green stucco, barrel vault roof, raised parapet, newer window on the front façade. The property was designated a local historic landmark by the Westminster City Council in 2006.

d. Significance of Landmark: Operated by prominent local grocer Fred Valente from 1953 to the 1970s, this landmark is a distinct building within the Historic Westminster Arts District, which also contains the Westminster Grange Hall (3935 W 73rd Ave) built in 1913 and is another significant example of a specific building type in this neighborhood.

10. Criteria for consideration of Certificate of Historic Appropriateness Pursuant to the Westminster Municipal Code Section 11-13-10, subsections 1 through 11:

1) *The effect of the proposed change on the general architectural and/or historic character of the structure or district:*

- There will be minimal changes to the general architectural and historical character of the building through its careful renovation. The City of Westminster has partnered with a developer to convert the existing building into a restaurant/pub. The goal is to retain as much of the historic building as possible while still renovating the building to fit the desired layout and use of the proposed restaurant/pub.

All exterior walls of the building will be saved except for areas that will be removed for doors and windows on the eastern facade. The frontage of the building will be saved with no additional windows. All fixtures will be chosen in style that lends itself to the architecture and historical character of the building, requiring minimal changes to the defining characteristics of the building and the neighborhood.

2) *The architectural style, arrangement, textures and materials used on existing and proposed structures and their relation to other structures in the district, if applicable:*

- The proposed materials for the exterior of the building will not be changed in order to maintain and preserve the historic character of the property.

3) *The uniqueness of the structure and how it ties in with the history of the area:*

- No new structures are proposed; this project only includes renovation to the existing structure. The existing structure and its uniqueness will be maintained through careful design, ensuring its distinct features and finishes shall be unchanged.

4) *The size of the structure, its setbacks, its site, location, and the appropriateness thereof, when compared to existing nearby structures and the site:*

- No new structure; this project only includes renovation to the existing structure.

5) *The effects of the proposed work in creating, changing, destroying or otherwise affecting the exterior architectural features of the structure upon which such work is done:*

- Exterior architectural features will be preserved as much as possible during renovation work. Minimal light fixtures will be utilized and have been chosen to match the historic

feel of the existing building and architecture. The distinctive features and finishes that exist currently including brick work shall be maintained in its current condition. There will be minimal removal of distinct features and will occur in order to bring the building up to current code (through the addition of exit doors) and to add on additional window and garage door opening on the East elevation to access a seasonal patio space. This patio space will add to the unique character of the existing building and will allow patrons outside of the space to view inside (when open seasonally) and draw in additional customers, thus increasing and enhancing the economic viability of the renovated space.

6) *The effect of the proposed work on the protection, enhancement, perpetuation and use of the structure, area or district:*

- By renovating the building for use as a restaurant and pub, the use and perpetuation of a local historic site will allow Westminster residents and visitors to enjoy the property and maintain it in excellent condition. The interior space will be modified in a way that will allow for all modifications to be undone should the City of Westminster determine the designated use of the space should change in the future.

7) *The condition of existing improvements and whether they are a hazard to the public health or safety:*

- Currently no health or safety hazards exist in the space but if left vacant issues may occur in the future.

8) *The economic viability of maintaining the structure or area as is:*

- Maintaining the structure as a vacant building does not provide any economic viability. The renovation and use as a restaurant and pub will enhance the economic viability and provide an excellent space for Westminster residents and guests to enjoy the historic area while also spending money and increasing the economic vitality of the historic neighborhood. There is also the possibility that this project will activate other commercial property along 73rd and throughout Harris Park.

9) *Whether the property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment:*

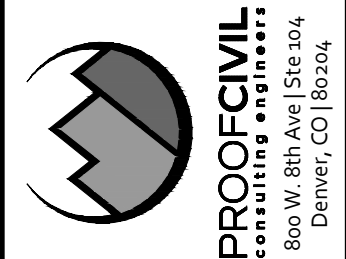
- The property was historically used as a supermarket providing food and sustenance to the community. It has also served as an art center which was a gathering place for community members. As a restaurant and pub, the space will continue to offer the space in those functions, as a gathering place for the community and a place to nourish oneself. Although it is a change from the original use, it lends itself easily to this new use of the space. Modifications to the interior of the building will be made in a way that could be reversed in the future if the use of the space changes again.

10) Whether the historic character of a property is being retained and preserved:

- The historic character of the property will be maintained and preserved and has been a major focus of the renovation plans for the building.

11) Visual compatibility with designated historic structures located on the property, in terms of design, finish, material, scale, mass, and height.

- The renovations have been designed with the historical structure and use in mind and no significant changes will be made to the exterior design, original brick work and building material will be left in place and the scale, mass and height of the structure will remain unchanged. All designs have been produced to maintain the historical character and feel while allowing the building to be renovated in a way that updates its use and function in order to operate as a fully functional restaurant and pub. Please see design elevations for exact details.



REVISIONS	
NO.	DESCRIPTION
01	INITIAL ODP SUBMITTAL
02	CITY COMMENTS
03	CITY COMMENTS

PROJ. NO.:	19056
DATE:	11/18/2019
DRAWN BY:	ANM
CHECKED BY:	TAL

OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 15

LEGAL DESCRIPTION
BEGINNING 60 FEET WEST OF THE SE CORNER OF BLOCK 35, HARRIS PARK, ADAMS COUNTY, COLORADO: THENCE EAST ALONG THE NORTH LINE OF 73RD AVENUE (WALNUT STREET) 140 FEET TO THE SW CORNER OF HOUSE'S RESUBDIVISION OF BLOCK 34, HARRIS PARK; THENCE NORTH ALONG THE WEST LINE OF BLOCK 34, A DISTANCE OF 120 FEET; THENCE WEST 140 FEET; THENCE SOUTH 120 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S CERTIFICATE
I, GEORGE A. ROBINSON, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE ODP PROPERTY BOUNDARY.

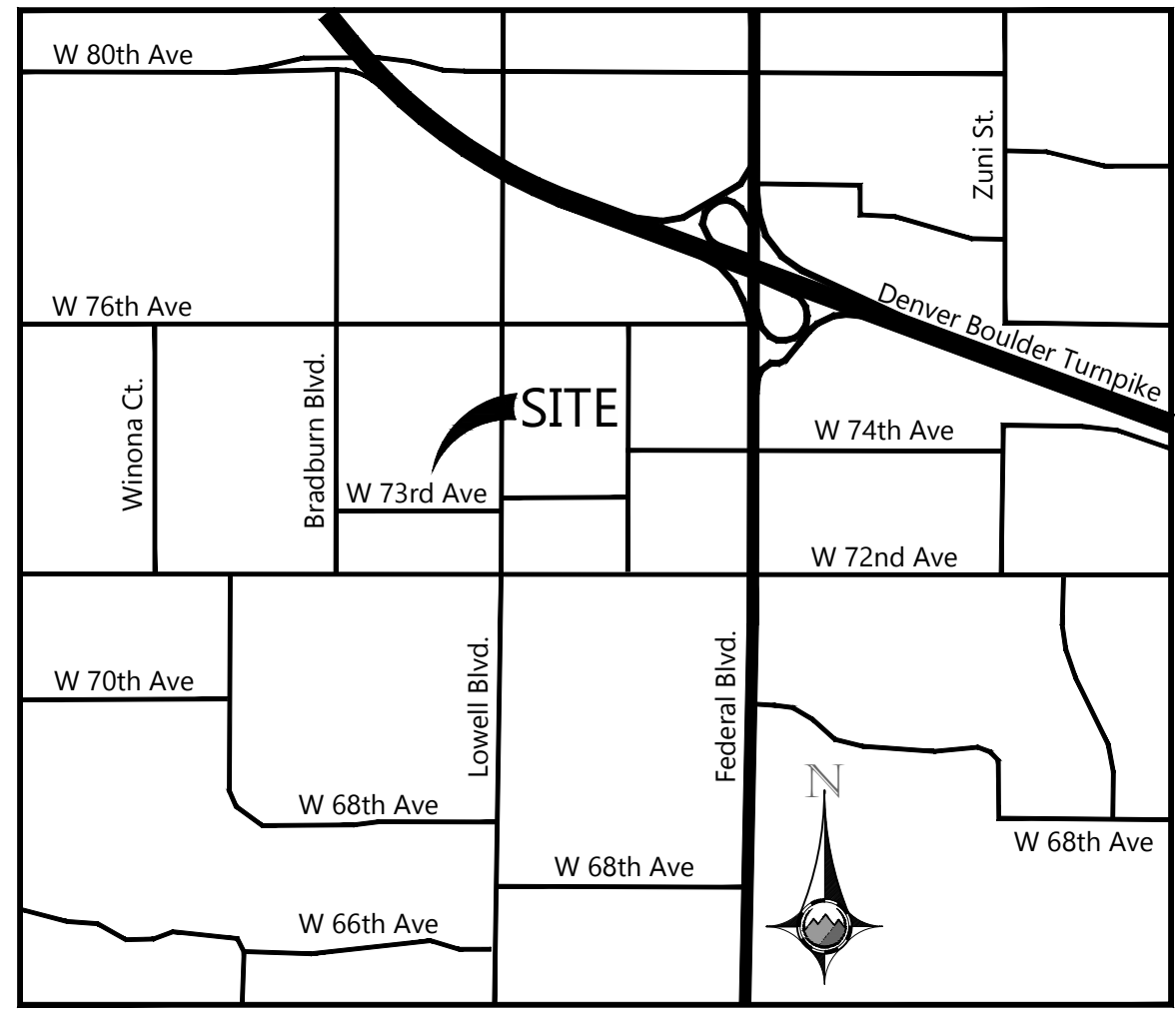
DATE REGISTERED _____
LAND SURVEYOR & NO. _____

PERMITTED USES:
APARTMENTS, CONDOMINIUMS, LOFTS, AND TOWNHOMES, SINGLE FAMILY RESIDENCES (ATTACHED AND DETACHED), OFFICES, PERSONAL SERVICES, RETAIL COMMERCIAL, LIVE/WORK

PROHIBITED USES
ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE
THE PURPOSE OF THIS ODP IS TO CHANGE THE USE OF THE EXISTING BUILDING TO A RESTAURANT AND PUB AND TO PERMIT THE REQUIRED SITE MODIFICATIONS FOR THE CHANGE OF USE TO A RESTAURANT AND PUB.

VICINITY MAP



OWNER APPROVAL
I, _____, AS _____ OF THE CITY OF WESTMINSTER, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

SIGNATURE _____ TITLE _____

CITY APPROVAL
ACCEPTED AND APPROVED BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

CITY MANAGER

ATTEST CITY CLERK

CLERK AND RECORDER'S CERTIFICATE

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT ____ O'CLOCK __M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK

PROPERTY OWNER
CITY OF WESTMINSTER
4800 WEST 92ND AVE.
WESTMINSTER, CO 80031
STEPHANIE TROLLER

CONSULTANTS:
ARCHITECT
EG STUDIO FOR ARCHITECTURE
863 SANTA FE DRIVE
DENVER, CO 80204
JORGE EGUIARTE

ENGINEER
PROOF CIVIL
800 W 8TH AVENUE STE 104
DENVER, CO 80204
303.325.5709
TODD LYON

DEVELOPMENT TIMING & PHASING
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE AND IS ANTICIPATED TO BE COMPLETED IN THE SUMMER OF 2020.

ZONING & LAND USE

	ZONING	LAND USE	COMP. PLAN DESIGNATION
SUBJECT SITE:	C-1	PUBLIC WORK	TMUND
NORTH:	R-2	PUBLIC FACILITY (FIRE DEPARTMENT)	PUBLIC PARKS
SOUTH:	C-1	PUBLIC PARK	PUBLIC/QUASI-PUBLIC
EAST:	R-A	VACANT	PUBLIC PARKS
WEST:	C-1	COMMERCIAL	TMUND

LOTS & COVERAGE

TOTAL SITE AREA:	16,854 (SF)	0.337 (AC)
NUMBER OF LOTS:	1	
BUILDING COVERAGE:	4,593 (SF)	27%
PARKING AND DRIVES:	6,385 (SF)	38%
LANDSCAPE AREA:	5,876 (SF)	35%

PROJECT/SITE DATA

ODP BOUNDARY AREA (SF/ACRES):	16,854 (SF)	0.387 (AC)
GFA (SF / AC):	4,593 (SF)	0.105 (AC)
FFA (SF / AC):	4,593 (SF)	0.105 (AC)
FAR/DU PER ACRE (#):	0.27	
MAXIMUM BUILDING HEIGHT(S) (FT):	21'-0"	

MINIMUM SETBACKS

	BUILDING		PARKING	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FRONT SETBACK:	0 FT.	0 FT.	8 FT.	NA
SIDE SETBACK:	5 FT.	23.1 FT.	0 FT.	0 FT.
REAR SETBACK:	5 FT.	33.2 FT.	0 FT.	2.7 FT.

SHEET INDEX

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LUMINAIRE CUT SHEETS	15 OF 15

PROJECT NO.: PLN19-0140

PROJECT NOTES

RECOVERY COSTS: THERE ARE NO KNOWN RECOVERY COSTS FOR THIS DEVELOPMENT. ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SERVICE COMMITMENTS: MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING THE COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTREST.

WATER ABANDONMENT PROCEDURES

ABANDONMENT OF CITY WATER FACILITIES SHALL FOLLOW THESE PROCEDURES. THE CITY ENGINEER SHALL APPROVE OF FACILITIES TO BE ABANDONED AND THE METHOD AND MATERIALS USED FOR THE ABANDONMENT.

WATER SERVICES:

- EXPOSE THE TAP AT THE MAIN LINE CONNECTION.
- DISCONNECT THE SERVICE LINE FROM THE CORPORATION STOP AND PULL THE SERVICE LINE AWAY FROM THE MAIN.
- REMOVE THE CORPORATION STOP AND INSTALL AN APPROVED REPAIR CLAMP ON THE MAIN.
- REWRAP CAST IRON OR DUCTILE IRON PIPE WITH POLYETHYLENE AND TAPE.
- AFTER INSPECTION, BACKFILL AND COMPACT THE EXCAVATION.
- REMOVE THE METER AND YOKE FROM THE METER PIT AND RETURN THE METER TO THE CITY'S METER SHOP.
- REMOVE THE METER PIT COVER, AND CONTACT THE CITY'S METER SHOP TO RETURN COVER.
- BACKFILL THE METER PIT AND COMPACT THE EXCAVATION TO FINISHED GRADE
- METER PIT REMOVAL MAY BE REQUIRED*

SANITARY ABANDONMENT PROCEDURES

THE ABANDONMENT OF EXISTING SANITARY SEWER FACILITIES MUST BE APPROVED IN WRITING BY THE CITY. ABANDONMENT PLANS SHALL INCLUDE A DETAILED SITE PLAN, FACILITIES AFFECTED, PROPOSED NEW SEWER LOCATIONS, BYPASS PUMPING REQUIREMENTS (IF NECESSARY) AND CONSTRUCTION SEQUENCING OF THE ABANDONED FACILITIES. NO SANITARY SEWER SHALL BE ABANDONED UNTIL THE REPLACEMENT SEWER HAS BEEN CONSTRUCTED AND TESTED AND ALL SERVICE CONNECTIONS HAVE BEEN RECONNECTED. ANY SANITARY SEWERS THAT WILL BE ABANDONED IN PLACE OR REMOVED SHALL BE DRAINED AND FLUSHED TO REMOVE ANY REMAINING DEBRIS. DEBRIS SHALL BE DISPOSED OF PROPERLY AND SHALL NOT BE FLUSHED INTO THE DOWNSTREAM SEWER.

SANITARY SERVICES:

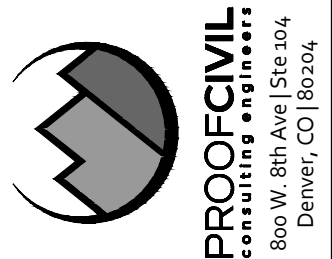
SEWER SERVICES SHALL BE CAPPED AT THE WYE OR TEE AND A MINIMUM OF FIVE FEET OF SERVICE PIPE REMOVED UPSTREAM OF THE TAP. IF A TAPPING SADDLE EXISTS, IT SHALL BE REMOVED FROM THE PIPE AND A SEWER REPAIR CLAMP INSTALLED OVER THE OPENING. ALL REPAIRS SHALL BE BACKFILLED WITH A CONCRETE CAP.

IF MORE THAN ONE SERVICE TAP IS REQUIRED TO BE ABANDONED ALONG A SEWER MAIN AND THE SPACING BETWEEN THESE TAPS IS LESS THAN 50 FEET, THEN THE PIPE BETWEEN AND INCLUDING THE SECTIONS AT THE TAPS SHALL BE REPLACED.

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 15

STANDARD STATEMENTS

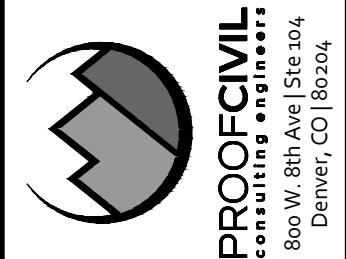
- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE DESIGNED IN ACCORDANCE WITH THE CITY'S STREETLIGHT STANDARDS, IN EFFECT AT THE TIME OF STREETLIGHT DESIGN AND INSTALLATION, AND INSTALLED AT THE DEVELOPER'S COST. OWNERSHIP OF THE STREETLIGHTS SHALL NOT BE TRANSFERRED TO ANY ENTITY, EXCEPT THE CITY OF WESTMINSTER, UNLESS THE CITY AUTHORIZES THE TRANSFER TO ANOTHER ENTITY IN WRITING.
- M. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- N. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- O. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- P. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- Q. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- R. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- S. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- T. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.



REVISIONS		NO.	DATE	DESCRIPTION
PROJ. NO.: 19056	DATE:	01	11/18/2019	INITIAL ODP SUBMITTAL
	DRAWN BY:	02	01/31/2020	CITY COMMENTS
	CHECKED BY:	03	02/12/2020	CITY COMMENTS

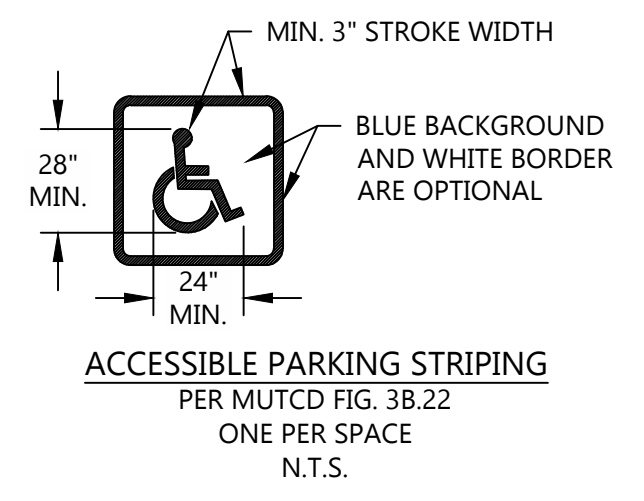
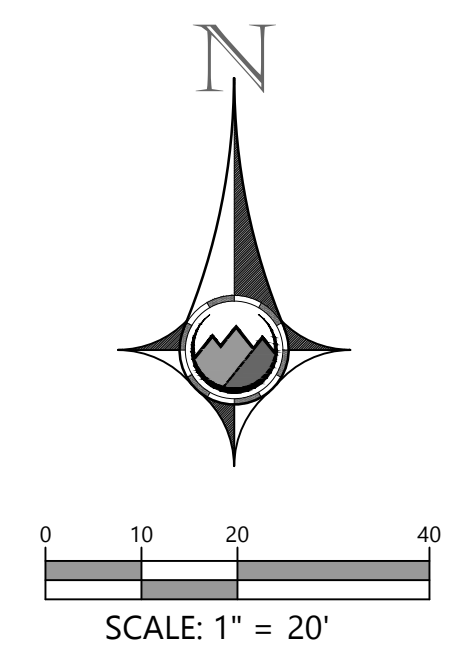
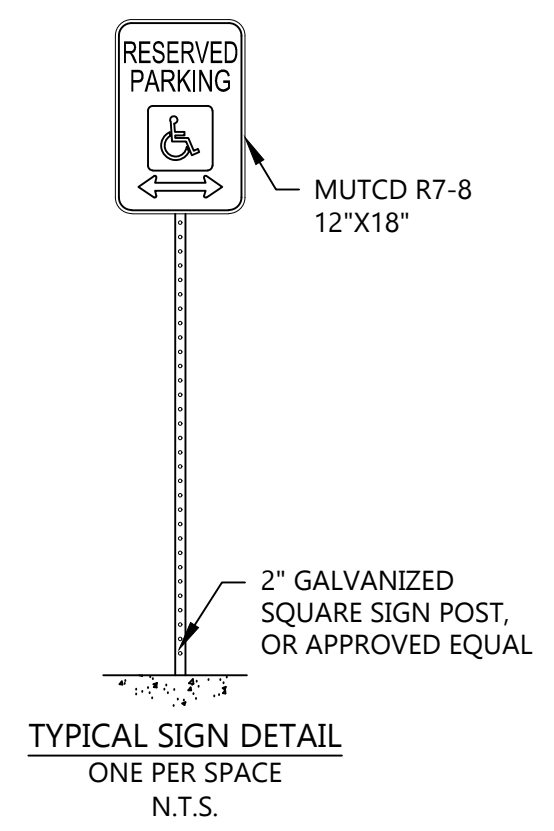
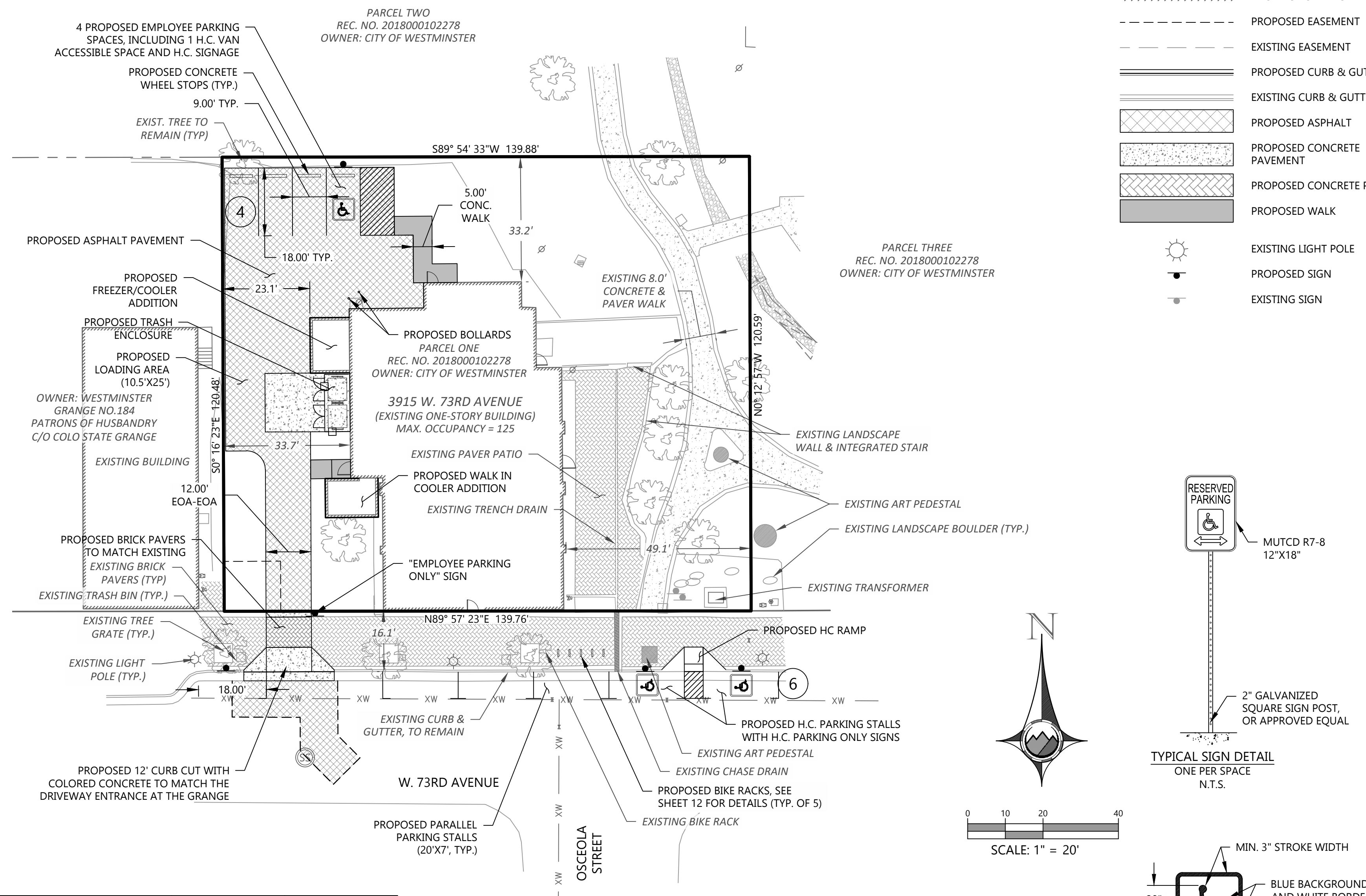
OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 15



LEGEND:

	PROPERTY LINE
	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED ASPHALT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVERS
	PROPOSED WALK
	EXISTING LIGHT POLE
	PROPOSED SIGN
	EXISTING SIGN



REVISIONS

NO.	DATE	DESCRIPTION
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03	02/12/2020	CITY COMMENTS

PROJ. NO.: 19056
DATE: 11/18/2019
DRAWN BY: ANM
CHECKED BY: TAL

OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

SHEET NO.
3 OF 15
SITE PLAN

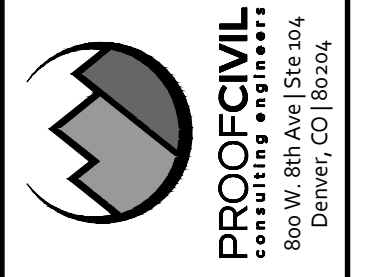
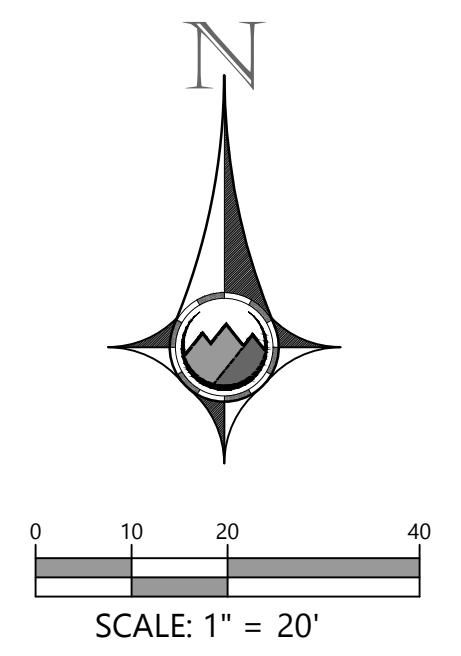
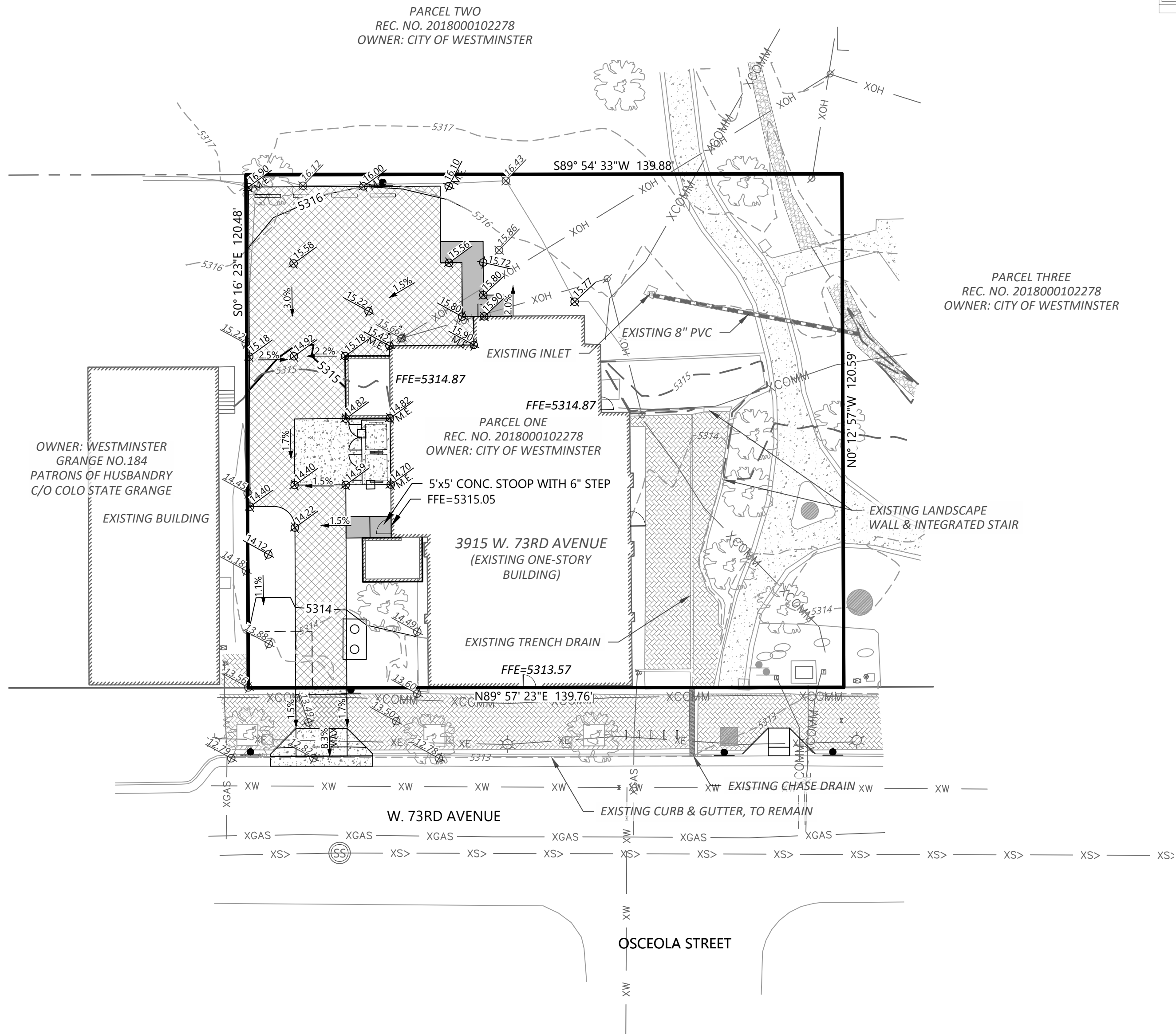
PARKING TYPE	SPACES REQUIRED	SPACES PROVIDED
VEHICULAR, TOTAL (#):	16	4
VEHICULAR, STANDARD (#):	16	4
VEHICULAR, ACCESSIBLE (#):	1	1
VEHICULAR, VAN ACCESSIBLE (#):	1	1
VEHICULAR, EV CHARGING (#):	0	0
BICYCLE, TOTAL (#):	3	12
BICYCLE, SHORT-TERM (#):	3	12
BICYCLE, LONG-TERM (#):	0	0

LAND USE	SURFACE TYPE	AREA (SF)	% OF SITE
COMMERCIAL	EXISTING BUILDING COVERAGE:	4,296	25
	ADDITIONAL BUILDING COVERAGE:	297	2
	PAVING AND DRIVES:	6,385	38
	LANDSCAPE OPEN AREA:	5,876	35
TOTAL:		16,854	100

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 15

LEGEND:

	PROPERTY LINE
	PROPOSED BUILDING
	EXISTING BUILDING
	EXISTING EASEMENT
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING STORM LINE
	EXISTING STORM INLET
	FLOW DIRECTION
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	SLOPE AND DIRECTION
	HIGH POINT
	LOW POINT
	GRADE BREAK



REVISIONS

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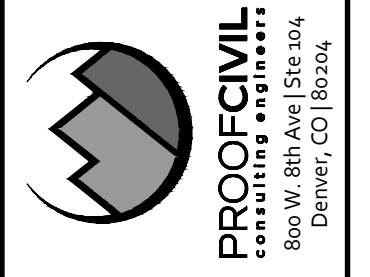
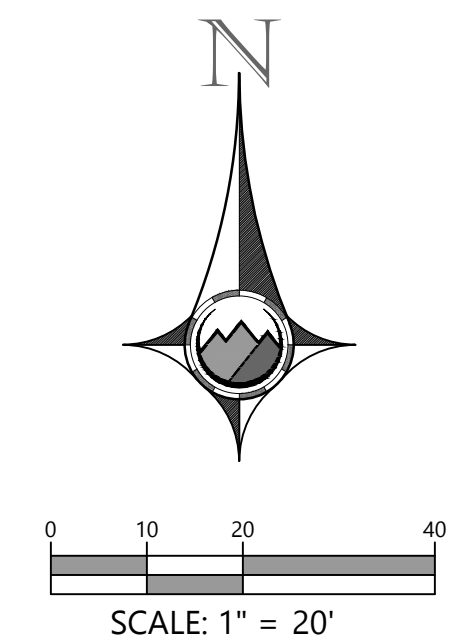
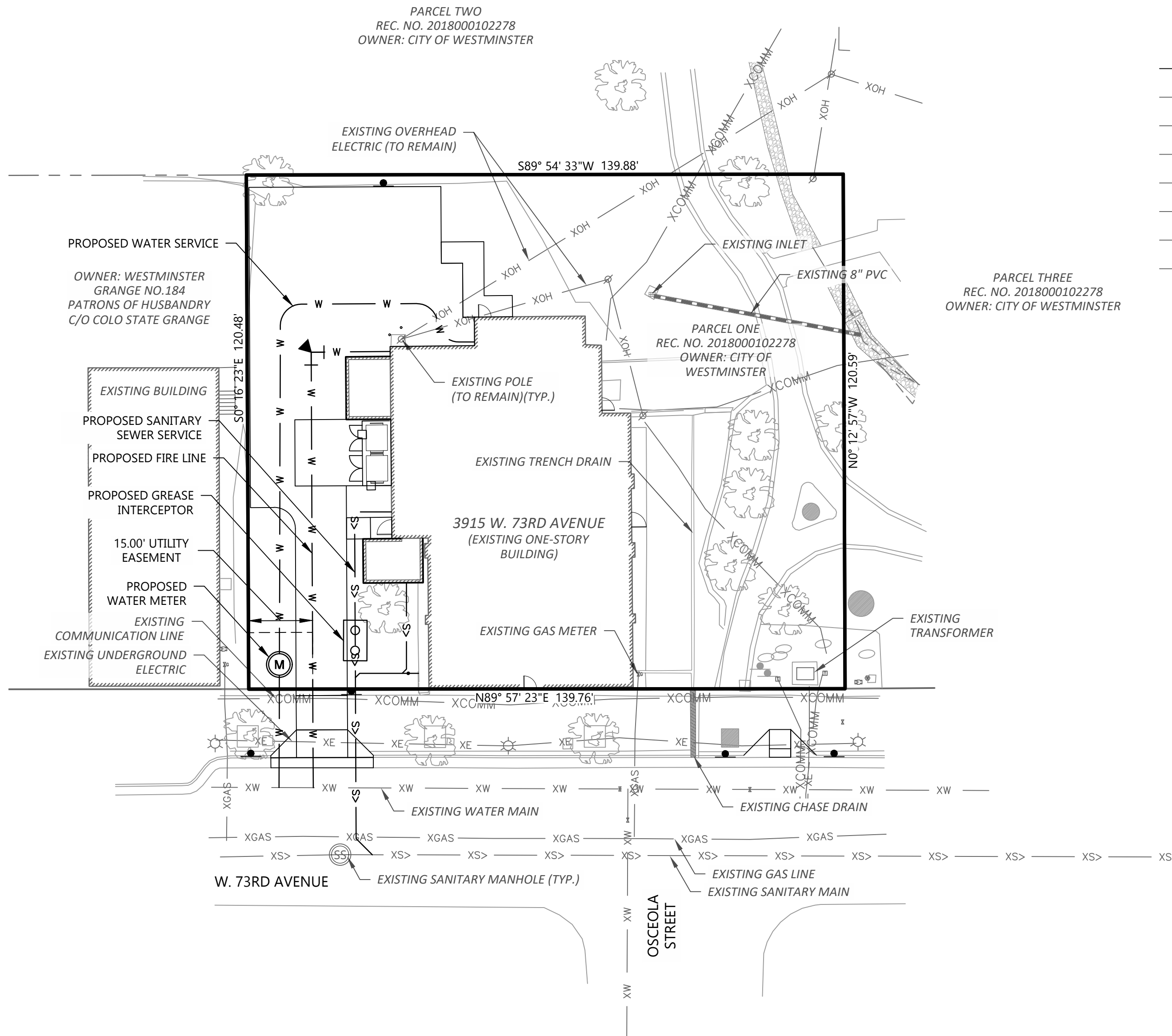
PROJ. NO.:	19056
DATE:	11/18/2019
DRAWN BY:	ANM
CHECKED BY:	TAL

OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 15

LEGEND:

	PROPERTY LINE
	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED EASEMENT
	EXISTING EASEMENT
	EXISTING STORM LINE
	EXISTING INLET
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED HYDRANT & VALVE
	EXISTING HYDRANT & VALVE
	PROPOSED SAN SEWER LINE
	EXISTING SAN SEWER LINE
	EXISTING ELECTRICAL LINE
	EXIST. OVERHEAD ELEC. LINE
	EXISTING TELECOMM LINE
	EXISTING GAS LINE
	EXISTING IRRIGATION LINE
	EXISTING FIBER OPTIC LINE
	PROPOSED LIGHT POLE
	EXISTING LIGHT POLE



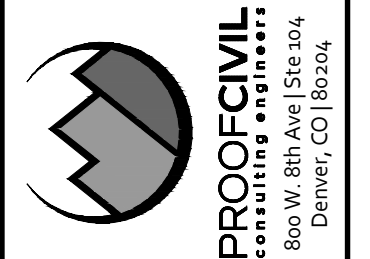
REVISIONS

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OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 15

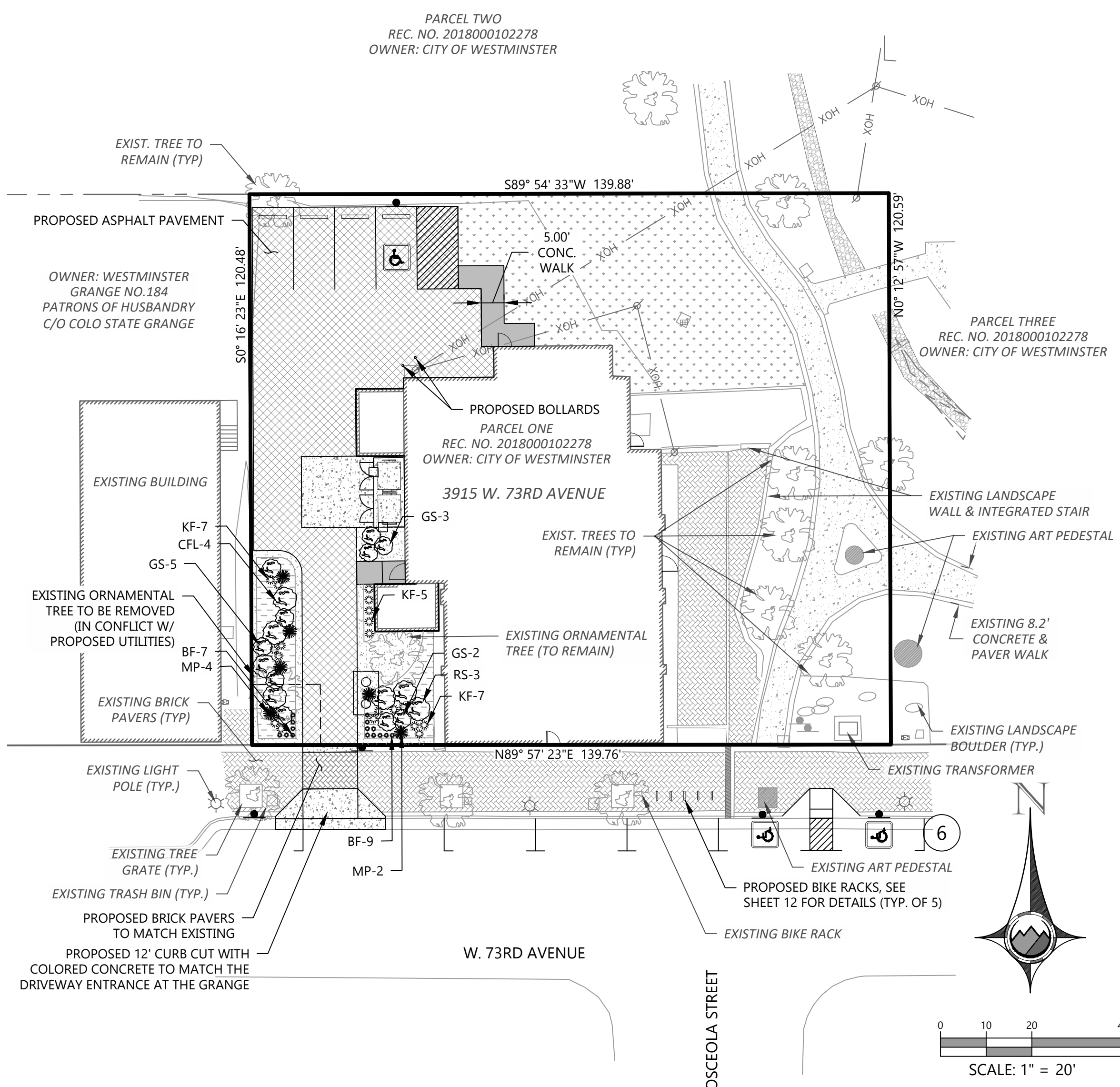


REVISIONS	
NO.	DESCRIPTION
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PROJ. NO.:	19056
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DRAWN BY:	MRR
CHECKED BY:	TAL

OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

SHEET NO.
6 OF 15
LANDSCAPE PLAN



VARIETY:	QUANTITY:	SIZE:
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SHRUBS

RS - RUSSIAN SAGE	3	5 GAL
MP - CARSTEN'S WINTERGOLD MUGO PINE	6	1.5 GAL
GS - GOLDMOUND SPIREA	10	5 GAL
CFL - CRIMSON FIRE LOROPETALUM	4	5 GAL
KF - KARL FOERSTER REED GRASS	19	1 GAL
BF - ELIJAH BLUE FESCUE	16	1 GAL

GROUNDCOVER

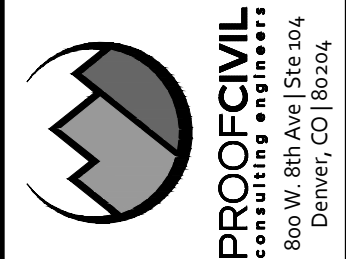
PROPOSED SOD	2,300 SQ. FT.
PROPOSED ROCK MULCH	430 SQ. FT.
PROPOSED WOOD MULCH (BROWN)	554 SQ. FT.
EXISTING LANDSCAPE TO REMAIN UNDISTURBED	2,592 SQ. FT.
TOTAL LANDSCAPE AREA	5,876 SQ. FT.

LEGEND

PROPERTY LINE	PROPOSED SIGN
PROPOSED BUILDING	EXISTING SIGN
EXISTING BUILDING	EXISTING LIGHT POLE
PROPOSED EASEMENT	PROPOSED ASPHALT
EXISTING EASEMENT	PROPOSED SIDEWALK
PROPOSED CURB & GUTTER	PROPOSED PAVER
EXISTING CURB & GUTTER	PROPOSED CONCRETE
EXISTING TREE	

NOTES:
1. IRRIGATION TO BE COORDINATED BY THE CITY OF THORNTON AND PROJECT CONTRACTOR AS NECESSARY.

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
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COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 15



REVISIONS	
NO.	DESCRIPTION
01	INITIAL ODP SUBMITTAL
02	CITY COMMENTS
03	CITY COMMENTS

PROJ. NO.:	19056
DATE:	11/18/2019
DRAWN BY:	MRR
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OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

SHEET NO.
7 OF 15
LANDSCAPE
NOTES &
DETAILS

CITY OF WESTMINSTER STANDARD LANDSCAPE NOTES:

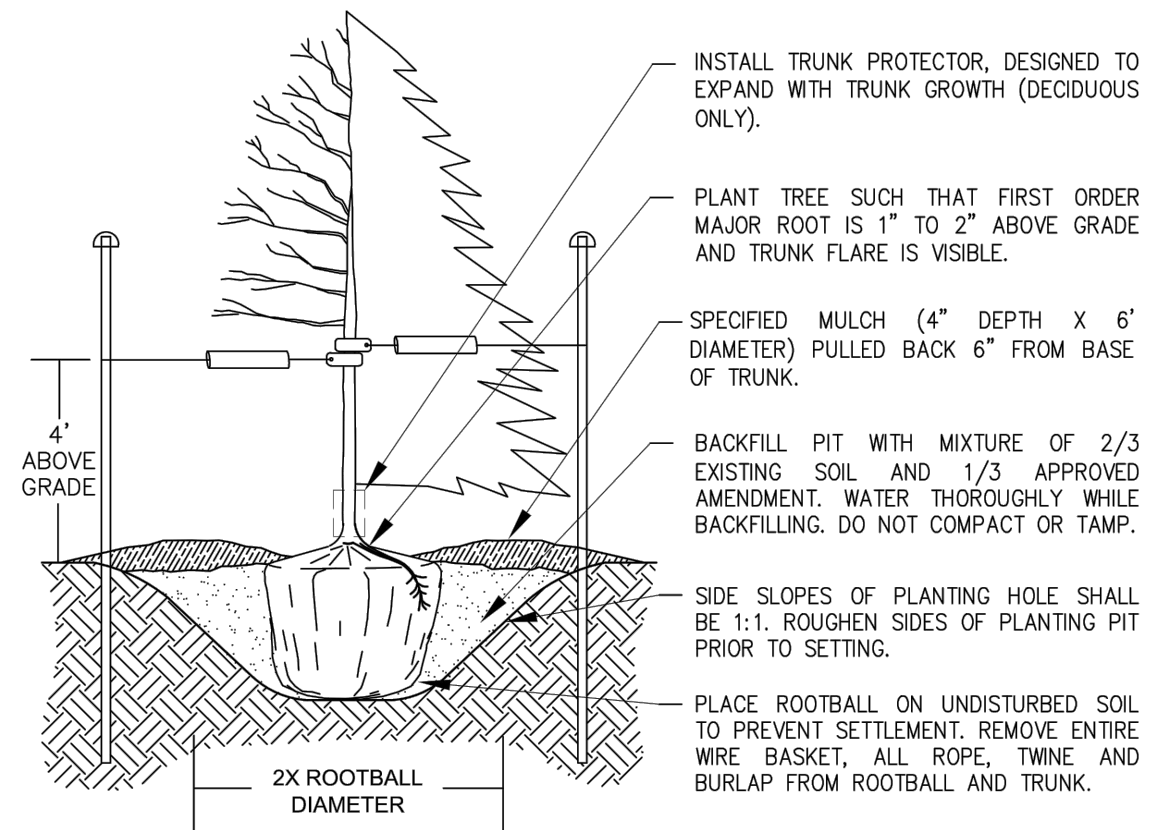
- A. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- B. THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- C. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- D. SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- E. ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- F. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- G. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- H. NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- I. ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- J. FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- K. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

PLANT SHRUBS 1/2 MATURE WIDTH OR 4' FROM EDGE OF WALK, CURB OR EDGING.

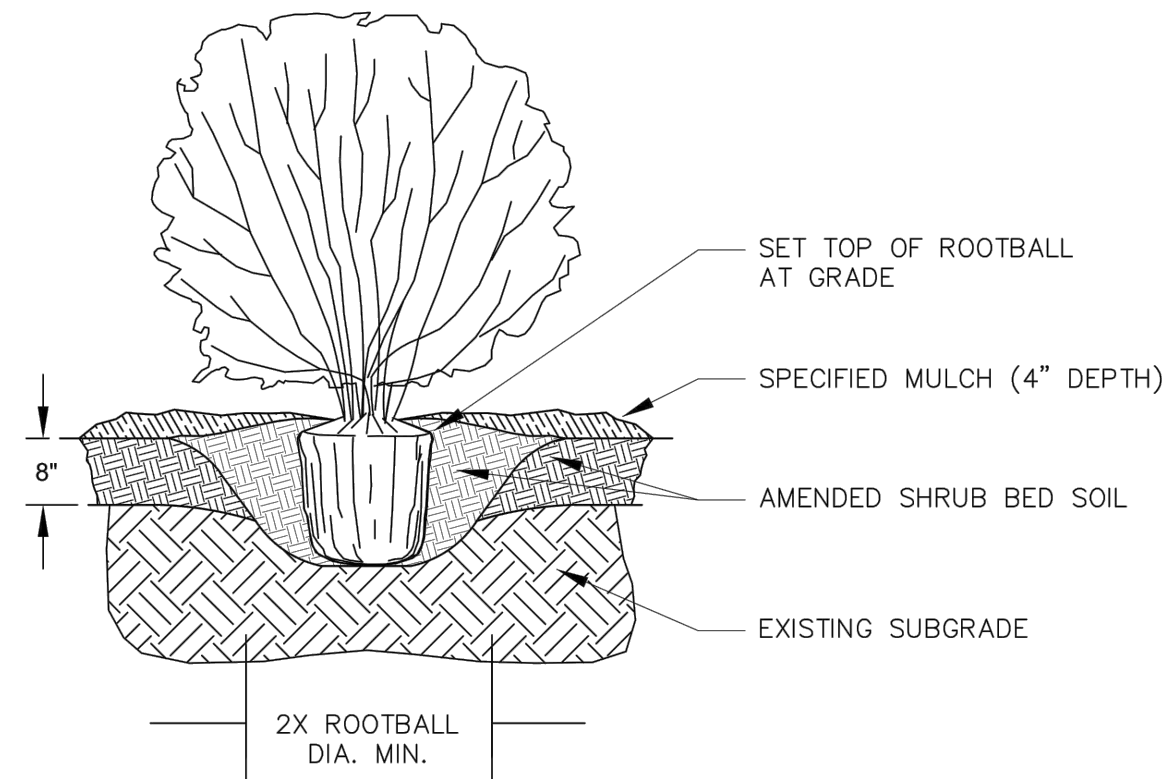
ENTIRE SHRUB BED AREA SHALL BE AMENDED WITH 4 CUBIC YARDS (6 CUBIC YARDS FOR CITY MAINTAINED PROJECTS) OF CLASS I OR CLASS II COMPOST PER 1000 S.F. TILLED TO DEPTH OF 8".

IF PLANT IS ROOT BOUND AND HAS CIRCLING ROOTS, SHEAR 1/2" OF THE ROOTMASS OFF OF ALL SIDES AND BOTTOM.

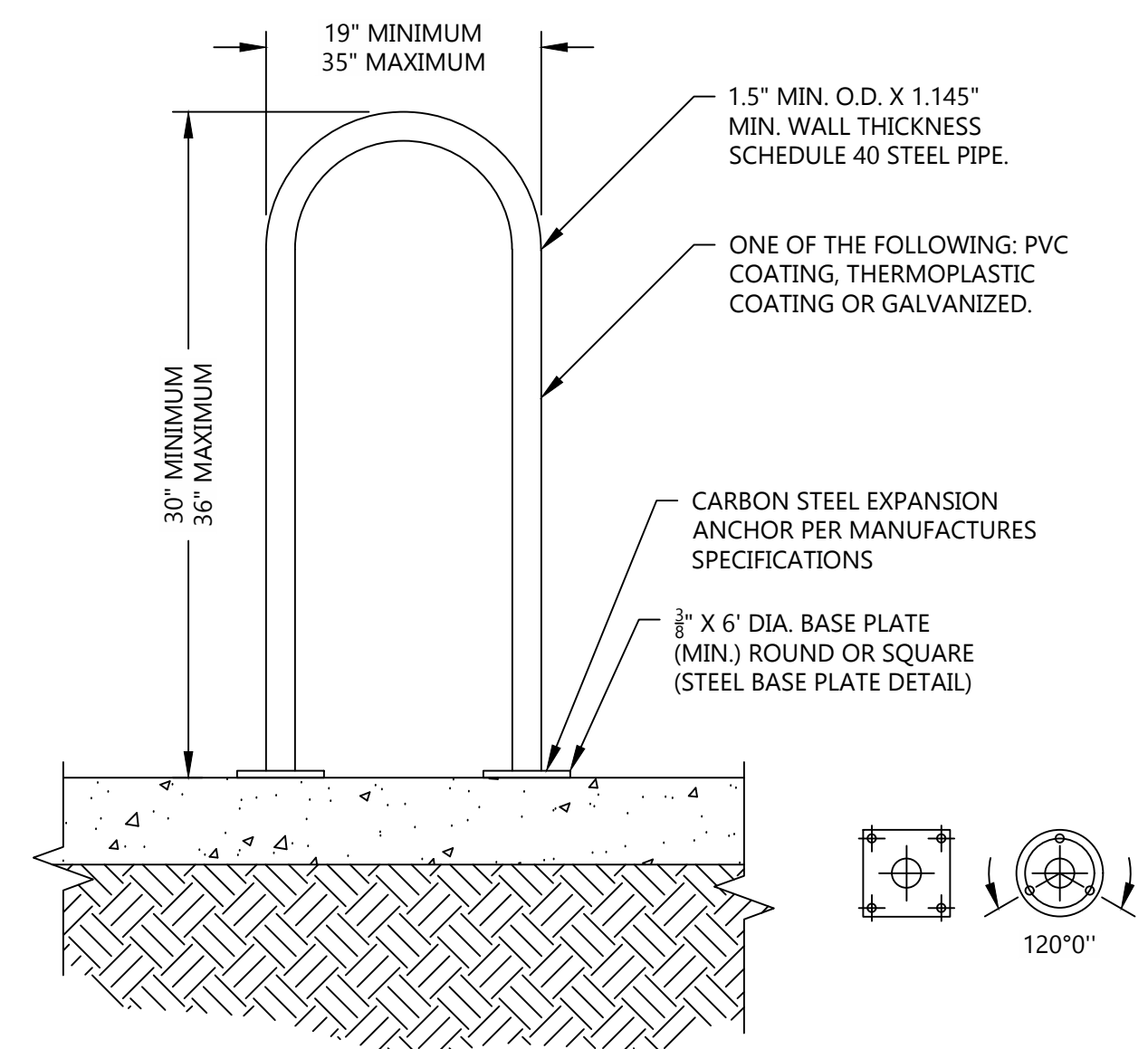
DO NOT PLANT SHRUBS HIGHER THAN SURROUNDING GRADE. BACKFILL SOIL SHOULD BE PULLED OVER TOP OF ROOTBALL (NO MORE THAN 1") TO PREVENT MOISTURE WICKING AND TO ALLOW ROOTS TO GROW INTO SURROUNDING SOIL.



TREE PLANTING DETAIL
(GENERIC)
N.T.S.



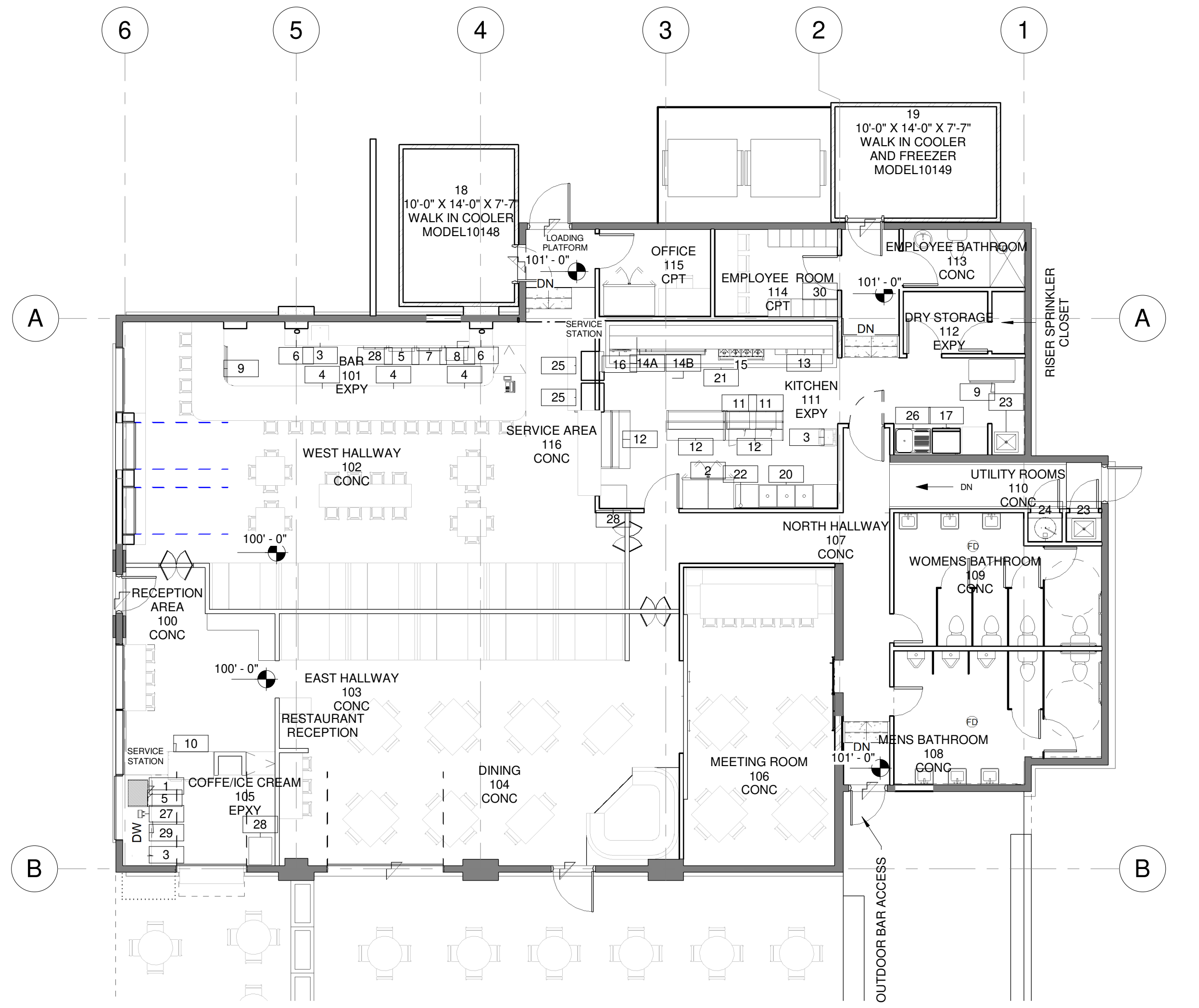
SHRUB PLANTING DETAIL
(GENERIC)
N.T.S.



- NOTES:**
1. RACK DIMENSIONS MAY VARY BY MANUFACTURER
 2. MINIMUM RACK SPACING 2'-0"
 3. RECOMMENDED SPACING BETWEEN CENTERLINE OF RACKS 3'-0"

INVERTED U BIKE RACK
(GENERIC)
N.T.S.

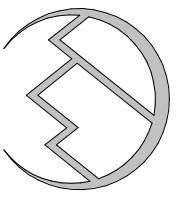
OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 15



FINISH AND FURNITURE PLAN NOTES:

- ALIGN VERTICAL WALL TILE JOINTS WITH FLOOR TILE JOINTS (WHERE APPLIES) FOR LAYOUT CONSISTENCY THROUGHOUT. TYP. USE FLOOR TILE LAYOUT AS **STARTPOINT**. REFER TO INTERIOR ELEVATIONS FOR WALL TILE LOCATIONS AND ALIGNMENT W/ FLOOR TILE JOINTS ACCORDINGLY. NOTIFY ARCHITECT OF ANY QUESTIONS WITH JOINT LOCATIONS PRIOR TO INSTALLATION, TYP.
- ALL FURNITURE SHOWN IS FOR REFERENCE ONLY AND IS NOT-IN-CONTRACT UNLESS OTHERWISE NOTED.
- REFER TO SHEET A0.13 FOR FURNITURE SCHEDULE AND OWNER PROVIDED FURNITURE.
- THE GENERAL CONTRACTOR SHALL COORDINATE FURNITURE INSTALLATION SCHEDULE AND SEQUENCING WITH OWNER'S REPRESENTATIVE.
- REFER TO A0.12 FOR FINISH SCHEDULE AND MATERIALS LEGEND
- KITCHEN / BAR EQUIPMENT SHOWN FOR REFERENCE ONLY, REFER TO MECHANICAL, ELECTRICAL, PLUMBING & KITCHEN DRAWINGS FOR LAYOUT & LOCATIONS. VIF WITH ARCHITECT AS INDICATED.
- VIF ALL LOCATIONS OF CORNER GUARDS WITH OWNER.
- VIF ALL LOCATIONS OF PAINT COLORS WITH OWNER.
- ALL CASEWORK COUNTERTOPS ABUTTING PARTITIONS ARE TO BE FULLY SEALED AT THE PERIMETER, VIF COLORS WITH OWNER.
- ALL CHAIRS SHOWN WILL BE PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE UNLESS OTHERWISE NOTED.
- ALL FLOOR MOUNTED CABINETS AND RAISED PLATFORMS THAT INCLUDE HOLLOW BASES ARE TO BE FILLED WITH EXPANDABLE FOAM IN THE CONCEALED CAVITY.
- IN KITCHEN AND OTHER BACK-OF-HOUSE AREAS, WALK-IN REFRIGERATOR AND FREEZER UNITS SHALL BE FULLY SEALED TO ADJACENT PARTITIONS AND CEILINGS.
- ALL BOOTHS ARE PROVIDED BY OWNER, GC TO PROVIDE ALL FINISH MILLWORK UP TO BOOTHS AND COORDINATE AND INSTALL BOOTHS AS REQUIRED.
- ALL TABLE TOPS, CHAIRS STOOLS OR ANY OTHER TYPE OF FURNITURE PROVIDED BY OWNER.

***FLOOR PLAN SHOWN FOR ILLUSTRATION PURPOSES ONLY**



REVISIONS

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03	02/12/2020	CITY COMMENTS

PROJ. NO.: 19056

DATE: 11/18/2019

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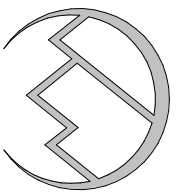
OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

SHEET NO.

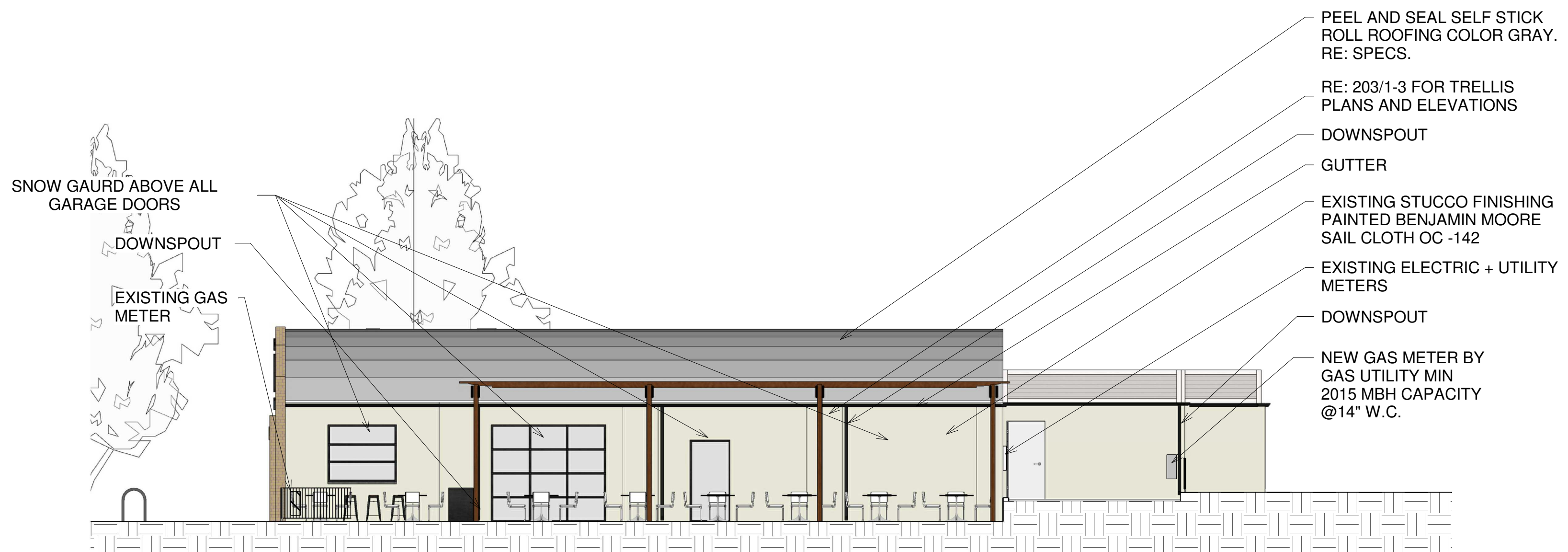
8 OF 15

FLOOR PLAN

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 15



2 ODP - SOUTH ELEVATION
11 of 16 SCALE: 1/8" = 1'-0"



1 ODP - EAST ELEVATION
11 of 16 SCALE: 1/8" = 1'-0"

REVISIONS			
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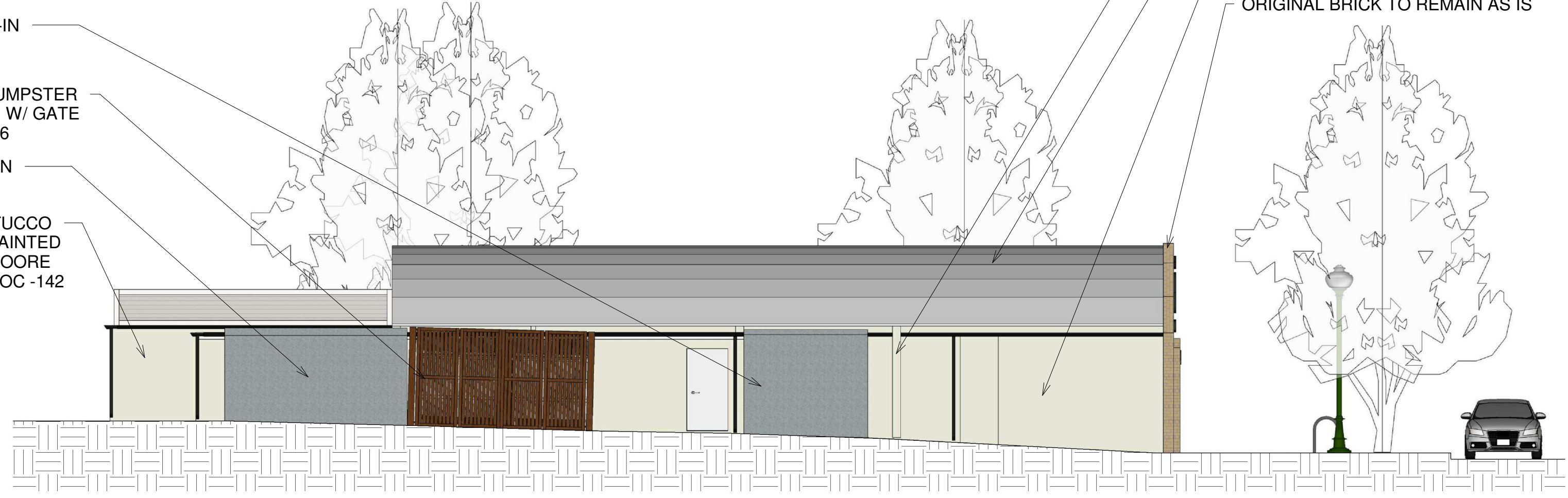
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OFFICIAL DEVELOPMENT PLAN
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BLOCK 35
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COUNTY OF ADAMS, STATE OF COLORADO
SHEET 10 OF 15

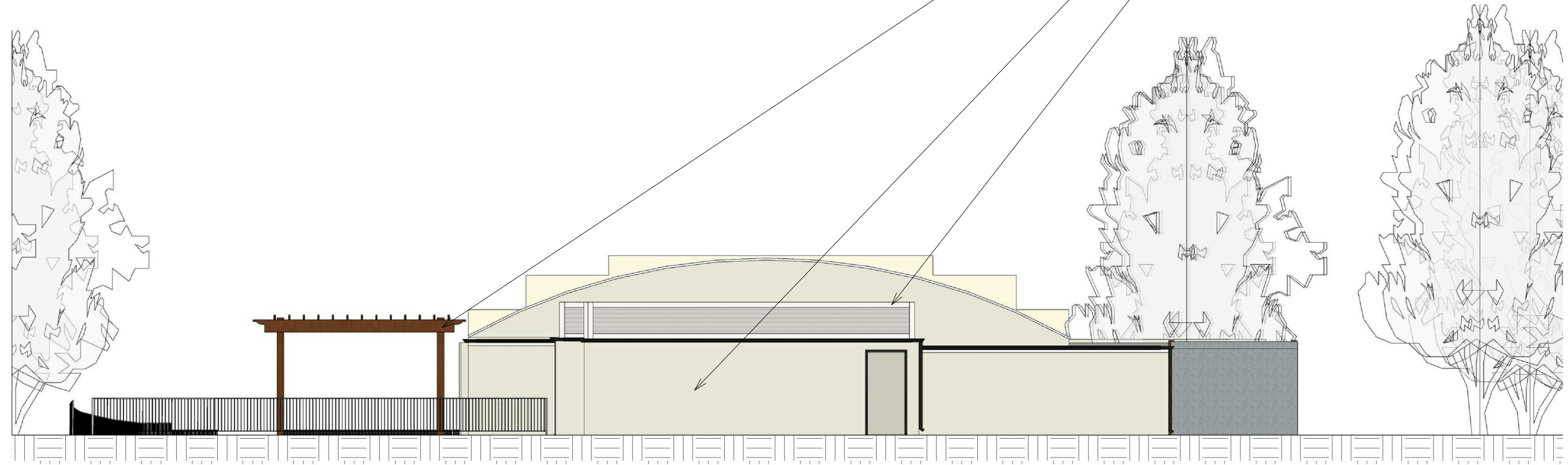
NEW WALK-IN COOLER
8'-0" HIGH DUMPSTER ENCLOSURE W/ GATE RE: SHEET 16
NEW WALK-IN COOLER
EXISTING STUCCO FINISHING PAINTED BENJAMIN MOORE SAIL CLOTH OC -142

NEW SCREEN WALL TO COVER COOLER FROM STREET
PEEL AND SEAL SELF STICK ROLL ROOFING COLOR GRAY. RE: SPECS.
EXISTING STUCCO FINISHING PAINTED BENJAMIN MOORE SAIL CLOTH OC -142
ORIGINAL BRICK TO REMAIN AS IS

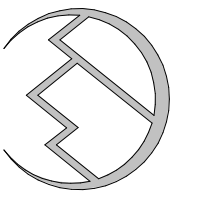


2 ODP - WEST ELEVATION
10 of 16
SCALE: 1/8" = 1'-0"

WOOD TRELLIS
EXISTING STUCCO FINISHING PAINTED BENJAMIN MOORE SAIL CLOTH OC -142
NEW ALUMINUM MECHANICAL SCREEN RE: SHEET 16



1 ODP - NORTH ELEVATION
10 of 16
SCALE: 1/8" = 1'-0"



REVISIONS

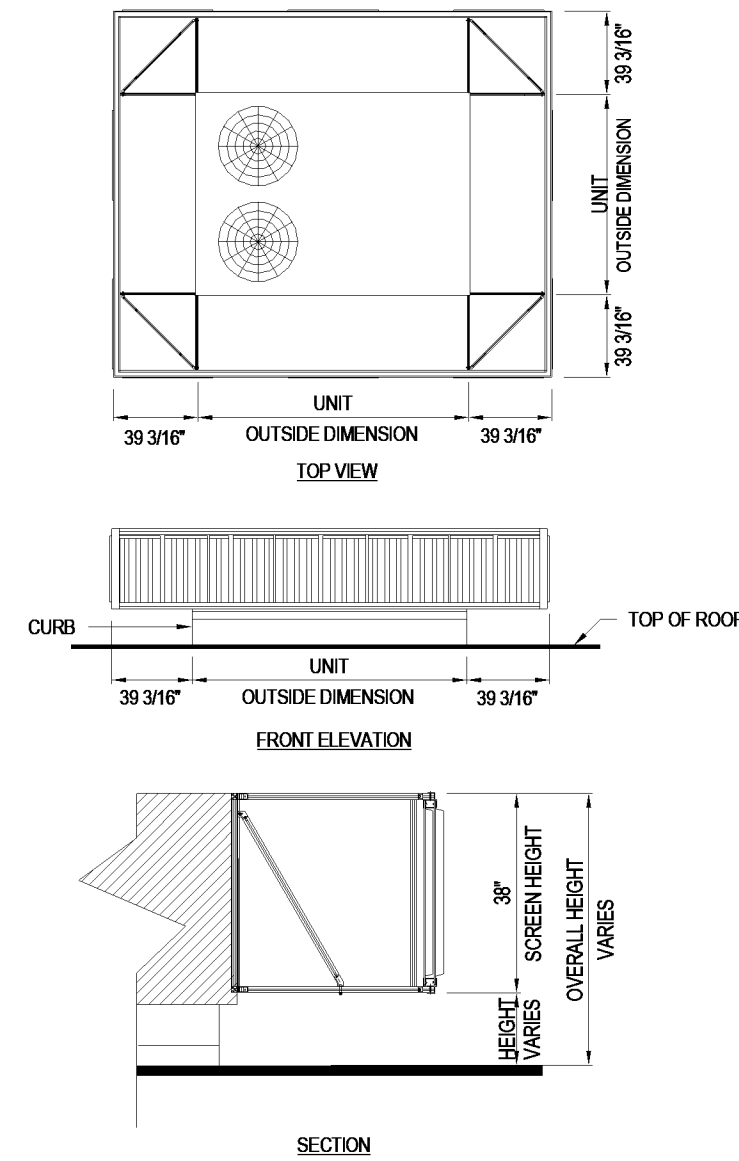
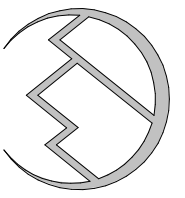
NO.	DATE	DESCRIPTION
01	11/18/2019	INITIAL ODP SUBMITTAL
02	01/31/2020	CITY COMMENTS
03	02/12/2020	CITY COMMENTS

PROJ. NO.: 19056
DATE: 11/18/2019
DRAWN BY:
CHECKED BY:

ARCHITECTURAL ELEVATIONS
OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

SHEET NO.
10 OF 15
ARCHITECTURAL ELEVATIONS

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 11 OF 15



- FEATURES & BENEFITS**
- PATENTED PANEL GUIDE TRACKS
 - ACRYLICAP® ABS WITH UV CO-EXTRUDED CAP ON BOTH SIDES
 - VERTICAL AND CANTED SYSTEM IN VARIETY OF STYLES AND COLORS
 - ATTACH ABOVE THE CURB FOR BEST VENTILATION
 - PROFESSIONAL GRADE EXTRUDED ALUMINUM STRUCTURAL COMPONENTS

THE SCREEN SYSTEM SHOWN CORRESPONDS TO A TYPICAL CONSTRUCTION OF THE ENVISOR 35 VERTICAL STYLE USING FLAT RIB PANELS. THIS DRAWING IS INTENDED TO ILLUSTRATE GENERAL DIMENSIONS OF THE ENVISOR SYSTEM WHEN INSTALLED ON AN AVERAGE ROOF TOP UNIT. DIMENSIONS AND SPECIFICATIONS OF THE SYSTEM CAN VARY DEPENDING ON THE RTU'S LOCATION TO EACH OTHER AND PERFORMANCE CHARACTERISTICS.

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 2907-002

REVISIONS

NO.	DATE	DESCRIPTION
01	11/18/2019	INITIAL ODP SUBMITTAL
02	01/31/2020	CITY COMMENTS
03	02/12/2020	CITY COMMENTS

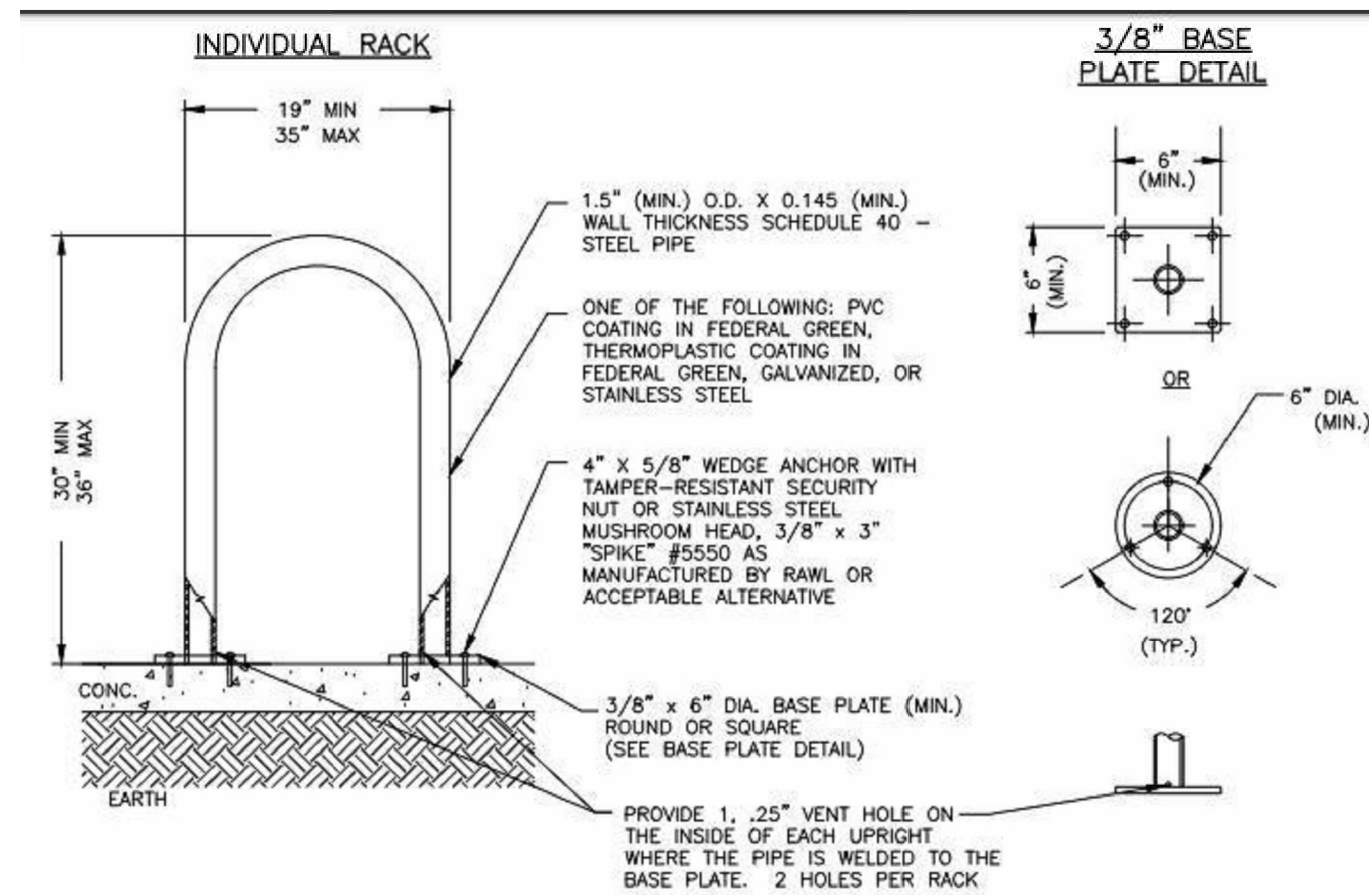
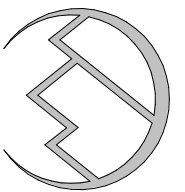
PROJ. NO.: 19056
DATE: 11/18/2019
DRAWN BY:
CHECKED BY:

OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

1 ODP - VERTICAL SCREEN
NTS

SHEET NO.
11 OF 15
SITE DETAILS

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 12 OF 15



NOTES:

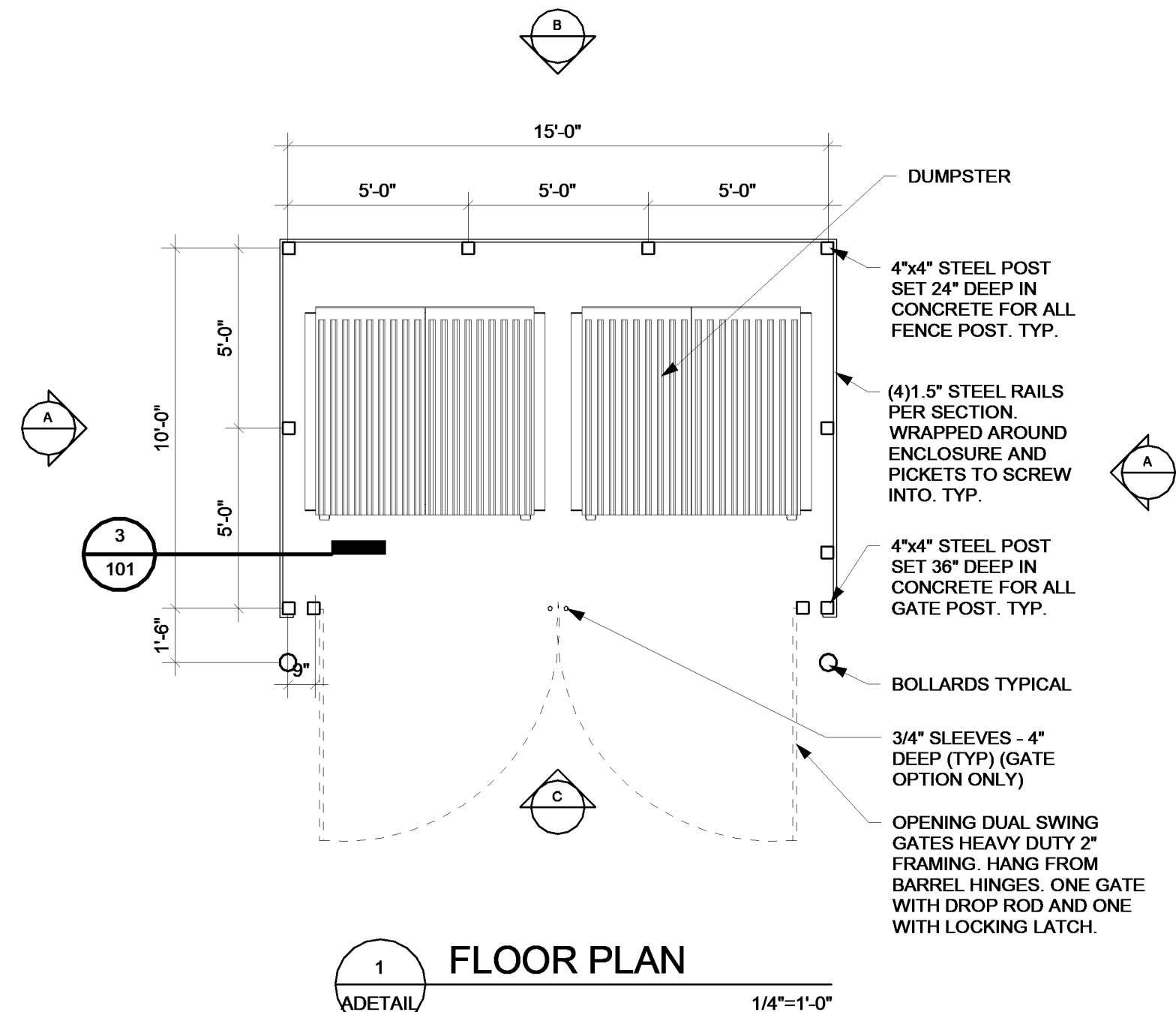
- RACK SHALL NOT BE WELDED IN SECTIONS.
- BASE PLATE SHALL BE WELDED TO STEEL PIPE.
- RACK DIMENSIONS MAY VARY BY MANUFACTURER.

MOUNTING (CONCRETE):

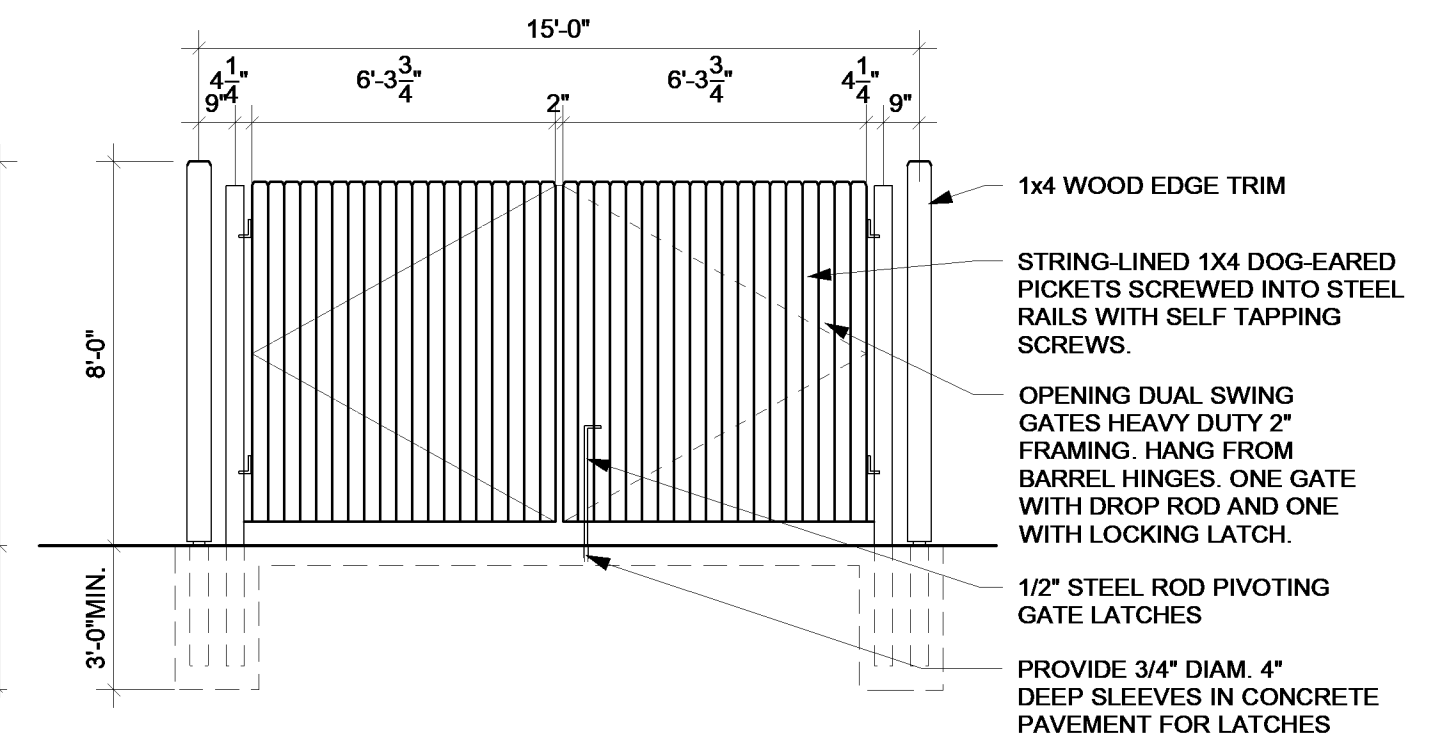
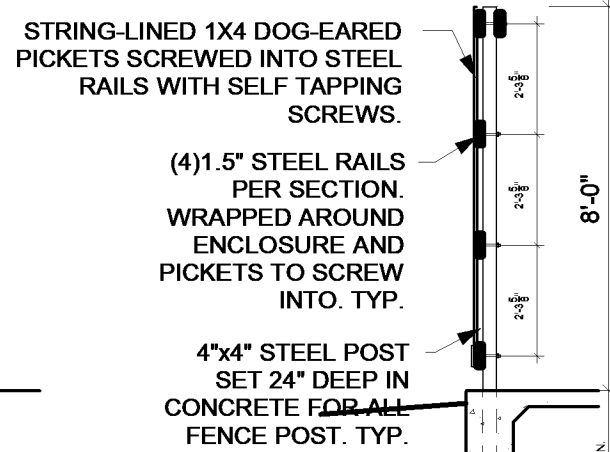
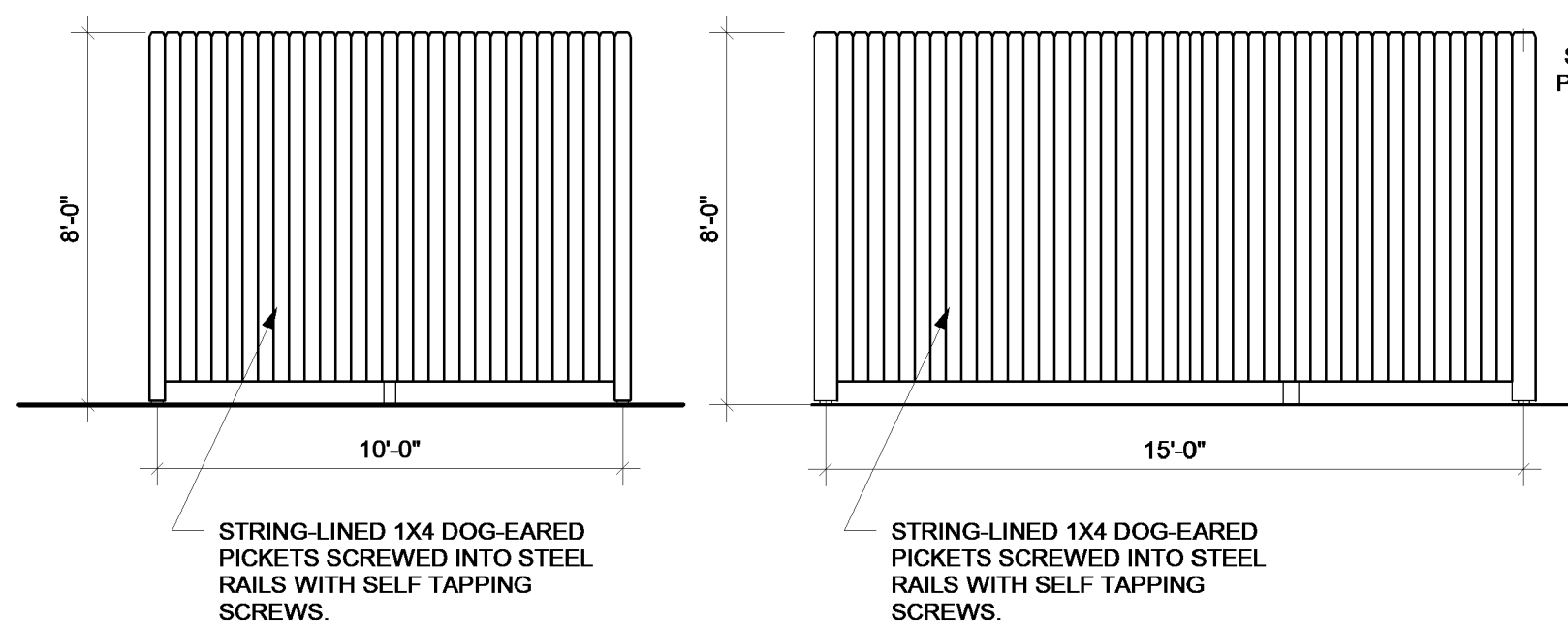
- BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR: 4" X 5/8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM HEAD 3/8" X 3" "SPIKE" #5550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL
- RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB.
- STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

MOUNTING (BRICK PAVERS):

- REMOVE APPROPRIATE BRICK PAVERS AND PAVER BEDDING MATERIAL AS NECESSARY FOR INSTALLATION.
- CONSTRUCT CONCRETE SLAB (MINIMUM 4-INCH THICK) OR CONCRETE FOOTINGS (24-INCH DEEP, 12-INCH WIDE) BELOW THE BRICK PAVER BEDDING MATERIAL. CONCRETE SHALL BE CLASS A OR B.
- BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR: TAPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM HEAD 3/8" X 3" "SPIKE" #5550 AS MANUFACTURED BY RAWL OR APPROVED EQUAL
- RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 1/4" FROM PLUMB.
- STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.
- PAVERS SHALL BE CUT TO FIT RACK POSTS. REPLACE BEDDING MATERIAL IN KIND AND REINSTALL PAVERS.



3 INDIVIDUAL BIKE RACK
ADETAIL
1/4"=1'-0"



A SIDE ELEVATION
1/4"=1'-0"

B REAR ELEVATION
1/4"=1'-0"

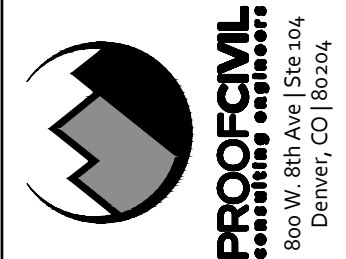
2 SECTION
1/4"=1'-0"

C FRONT ELEVATION
1/4"=1'-0"

REVISIONS		PROJ. NO.:	DATE:	CHECKED BY:
NO.	DESCRIPTION	19056	11/18/2019	
01	INITIAL ODP SUBMITTAL			
02	CITY COMMENTS			
03	CITY COMMENTS			

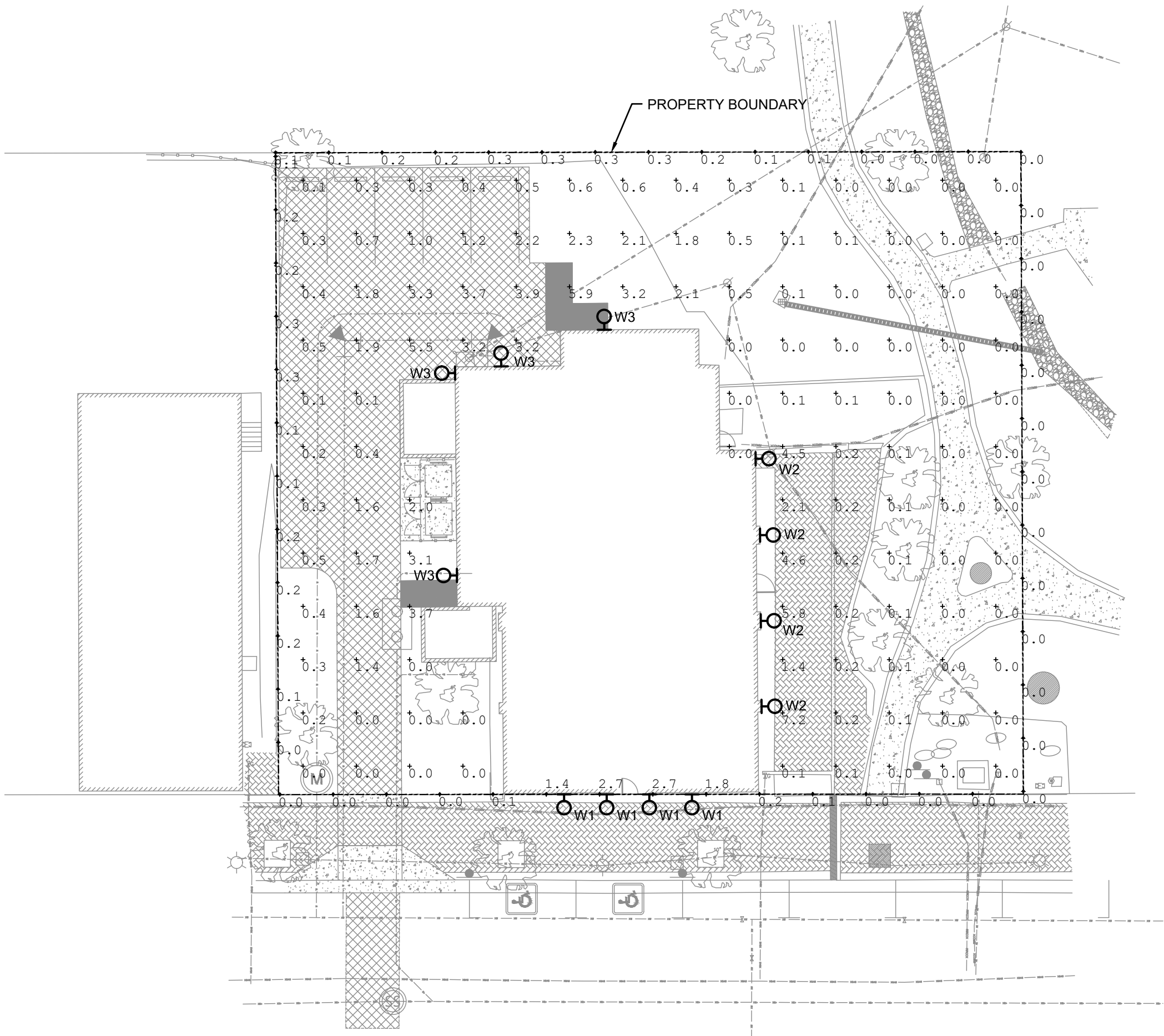
OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 13 OF 15



TYPE	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	CATALOG SERIES NUMBER OR APPROVED EQUIVALENT	LAMPS (QTY) TYPE	INPUT VA	VOLTAGE	MOUNTING				NOTES
							R	S	P	W	
W1	STEM MOUNT LED LUMINAIRE	TMS LIGHTING	18-15LED-30K-120-N1-DIML *COLOR BY ARCH	15W LED 3000K	15	120				X	
W2	6" LED DOWNLIGHT CYLINDER	TMS LIGHTING	CYW-0-6-15LED-30K-120-DIML *COLOR BY ARCH	15W LED 3000K	15	120				X	
W3	EXTERIOR WALL MOUNTED LED LUMINAIRE	HUBBELL LIGHTING	LMC-30LU-4K-4-035- *COLOR BY ARCH	35W LED 4000K	35	120				X	

GENERAL NOTES:
A. LUMINAIRE SHOWN WITH CATALOG NUMBERS ARE THE BASIS OF DESIGN. SIMILAR BY OTHER LISTED MANUFACTURERS ARE ACCEPTABLE.
B. CONTRACTOR TO VERIFY LIGHT FIXTURE CATALOG NUMBER AND INSTALLATION REQUIREMENTS PRIOR TO ORDERING.
C. VERIFY TRIM COMPATIBILITY WITH CEILING TYPE PRIOR TO SUBMITTALS.



- GENERAL NOTES (THIS SHEET)
- NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY THE CITY OF WESTMINSTER.
 - PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE CITY MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND THE REGULATIONS OF THE CITY.
 - ALL CALCULATIONS ARE DONE WITH A LIGHT LOSS FACTOR OF 0.9.
 - ALL CALCULATIONS POINTS ARE AT GRADE.
 - ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
 - ALL LUMINAIRES TO BE FULL CUTOFF.

Label	CalcType	Units	Avg	Max	Min
OVERALL SITE	Illuminance	Fc	.84	7.2	0.0
PROPERTY LINE	Illuminance	Fc	.25	2.7	0.0

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
02	01/31/2020	CITY COMMENTS	02	01/31/2020	CITY COMMENTS
03	02/12/2020	CITY COMMENTS	03	02/12/2020	CITY COMMENTS

PROJ. NO.: 19056
DATE: 11/18/2019
DRAWN BY: PMP
CHECKED BY: DWR

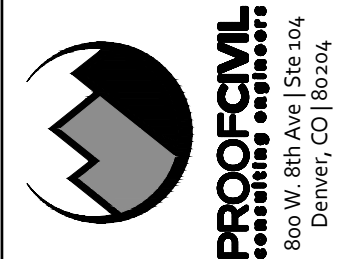
1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"

PROJECT NO.: PLN19-0140

**SITE PHOTOMETRIC
OLDE WESTMINSTER PUB & TAVERN**
3915 WEST 73RD AVENUE - ODP

SHEET NO.
13 OF 15

SITE
PHOTOMETRIC



FIXTURE TYPE W1

Sign 18



Construction
High grade aluminum reflector and mounting arm, with stainless steel hardware.

Lamp
Operates with Cree™ LED (19W max.), compact fluorescent (42W max., PL-T), metal halide (100W max. E-17), and incandescent (100W max., A-19) light sources. Specify 3000K, 3500K, or 4000K CCT for LED systems.
A dimmable 17W LED lamp is also available (120V, PAR 38, E26 base, CCT 4000K, 60° beam).
Note: LED systems use 120-277V supply voltage, and are not compatible with 347V. Incandescent and metal halide systems, and those using the 17W LED PAR 38 lamp, use a medium base socket (E26). LED modules do not require a socket, and are wired directly to the integral driver.

Diffuser
Globe: clear and prismatic glass globes are available for greater diffusion and lamp protection.
Note: G3 is available with 15LED, 32CF, 100MH and 100IN max.
Only prismatic globes are available with LED systems.
Globes are not available with the 17W LED PAR 38 lamps.

Option
Wire Guard: a steel, chrome-plated wire guard is available for lamp protection against light projectiles, wildlife, and serves as a vandal deterrent.

Ballast / Driver
Integral and remote, ballasts and drivers are available for indoor and outdoor locations.
Ballasts are integral and electronic; efficient with a high power factor greater than 90%, and quiet with an "A" sound rating.
The LED source is controlled by an advanced electronic driver that delivers consistent power.

Surge Suppressor
All 120V, 277V, and universal voltage LED luminaires are equipped with an integral, 6kV surge suppressor.

Dimming
The LED dimming option is the 0-10V current-sinking type.
Note: The dimming option is available to systems with 120-277V supply voltage only. Use a current-sinking dimming system (by others) for LED dimming.
Compatibility of this product is not guaranteed with all control systems.

- Features**
- Asymmetrical reflector provides uniform coverage
 - Approved for indoor and outdoor applications
 - Surge suppressor protects the internal components
 - Practical options for application and design flexibility
 - Quality components for extended lamp and component life

Applications
Sign 18 is ideal for illuminating signage at close range. For tall signage, it is designed to project at a 70° angle of incidence.
It also provides adequate night time security lighting.



FIXTURE TYPE W2

Downlight Cylinder



Construction
The durable, aluminum enclosure protects the lamp and internal components. An internal reflector projects light in the downward direction, with cut-off. With a simple, aesthetic design, the shape and finishes blend with most corporate environments to complement the existing architecture.

Lamp
The Downlight Cylinder is designed to operate with Cree™ 32W LED, incandescent (150W max.), compact fluorescent (42W max.), or metal halide (100W max.). Specify 3000°K, 3500°K or 4000°K LED CCT. Incandescent and metal halide models use a medium base socket (E-26).

LED Driver
The LED source is controlled by an advanced electronic driver that delivers consistent power.

Ballast
Ballasts are integral and electronic. They are efficient with a high power factor greater than 90%, and quiet with an "A" sound rating.

Dimming
The LED dimming option is the 0-10V current-sinking type with pulse width modulation (PWM).
Note: Compatibility of this product is not guaranteed with all control systems.

Emergency
For CF lamps and LED, remote mount, emergency backup is available, in either standard temperature or cold temperature versions (CF 7ft. max, LED 20 ft. max. distance from lamp to EM).
The test switch and indicator light are remotely mounted.

Mounting
Mounts to structure, directly over a recessed 4" electrical junction box.
Follow the installation instructions, and adhere to the local electrical code.

Finish
Available in several premium, polyester powder-coated, and RAL finishes. Custom and RAL finishes are also available by special order. See the [TMS Finishes-Diffusers Chart](#).

Compliances
QPS-C/US, or UL-C/US certified to UL1598 standards. Rated IP44. Consultants Europe (CE) listing is available upon request.

Features

- Integrated energy-saving LED technology
- High CRI for rendering architectural highlights and décor
- Widespread downlight distribution with cut-off
- Architectural aluminum construction, sealed and gasketed for weather proofing and durability
- Available in a variety of popular finishes to complement most commercial environments
- Cool operation for extended lamp and component life
- Easy to install and maintain; easy to clean and re-lamp

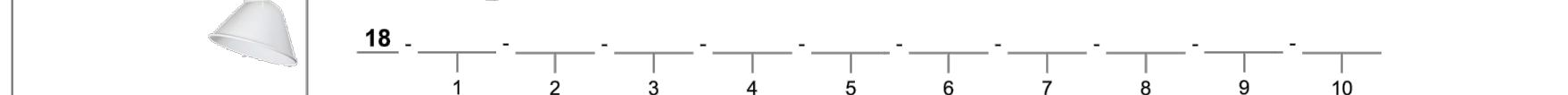
Applications
The Downlight Cylinder is ideal for producing a grazing effect on textured finishes, for an interesting effect wherever it is used. It is ideal for aesthetic illumination of inner and outer walls, facades, entrances and anywhere near-wall illumination or a grazing effect is desired.



REVISIONS	
NO.	DESCRIPTION
01	11/18/2019 INITIAL ODP SUBMITTAL
02	01/31/2020 CITY COMMENTS
03	02/12/2020 CITY COMMENTS

PROJ. NO.:	19056
DATE:	11/18/2019
DRAWN BY:	PMP
CHECKED BY:	DWR

Sign 18



Project: _____
Type: _____
Quantity: _____

Notes:

Note: Some options may not be compatible with others. To ensure compatibility between options, go to [tmslighting.com](#), on the "details" page of this luminaire, and use the configuration tool.

- 1 • Lamping**
 - 100IN: 100W INC (A-19)
 - 17LED: 17W LED (supplied)
 - 15LED: 15W LED (CRI 80)
 - 19LED: 19W LED (CRI 80)
 - 26CF: 26W CF (PL-T)
 - 32CF: 32W CF (PL-T)
 - 42CF: 42W CF (PL-T)
 - 70MH: 70W MH (E-17)
 - 100MH: 100W MH (E-17)
- 2 • LED CCT (color temp.)**
 - : None
 - 30K: 3000K
 - 35K: 3500K
 - 40K: 4000K
- 3 • Voltage**
 - 120: 120V
 - 277: 277V
 - 347: 347V (CF and MH only)
- 4 • Ballast / Driver**
 - : None
 - WM: Wall mount (integral)
 - N1: Remote, indoor mount (NEMA 1)
 - N4: Remote, outdoor mount (NEMA 4)
- 5 • Finish**

Specialty

 - BR: Brushed aluminum
 - AN: Anodized

Powder-coated

 - F05: White
 - F06: Clay brown
 - F08: Midnight blue
 - F09: Pewter
 - F10: Fire red
 - F13: Forest green
 - F14: Sunshine yellow
 - F15: Matte black
 - F16: Gloss black
 - F18: Flat aluminum
 - F19: Mirror silver
 - F21: Architectural bronze
 - F24: Melted platinum (textured)
 - F25: Melted gold (textured)
 - F26: Melted copper
 - F31: Silver metallic
 - F32: Bronze metallic
 - F33: Pyrite bronze
 - F34: Burnt orange
 - RAL: RAL custom color (specify)
- 6 • Dimming**
 - : None
 - DIML: LED dimming
- 7 • Emergency**
 - : None
 - EM: Integral LED or CF
 - EMC: Integral LED or CF with cold pack
 - EMR: Remote LED or CF
 - EMCR: Remote LED or CF with cold pack
- 8 • Globe**
 - : None
 - G1: Clear, elongated globe
 - G3: Prismatic, elongated globe
- 9 • Wire Guard**
 - : None
 - W10: Wire guard - 10"
- 10 • Accessories**
 - : None
 - AK: Aiming knuckle

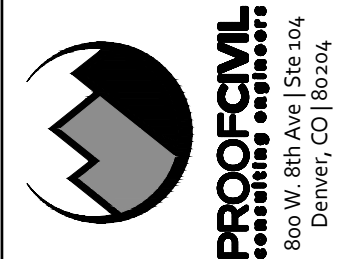
Downlight Cylinder



- 1 • Location**
 - I: Indoor
 - O: Outdoor
- 2 • Diameter**
 - 6: 6" dia. (15cm)
 - 8: 8" dia. (20cm)
- 3 • Lamping**
 - 100IN: 100W Incandescent
 - 150IN: 150W Incandescent (8" dia. only)
 - 17LED: 17W LED screw-in supplied (60° beam, 4000°K)
 - 15LED: 15W LED
 - 19LED: 19W LED
 - 32LED: 32W LED
 - 26CF: 26W PL-T
 - 32CF: 32W PL-T
 - 42CF: 42W PL-T
 - 50MH: 50W MH (E-17)
 - 70MH: 70W MH (E-17)
 - 100MH: 100W MH (E-17)
- 4 • LED CCT (color temp.)**
 - 30K: 3000°K (CRI 80)
 - 35K: 3500°K (CRI 80)
 - 40K: 4000°K (CRI 80)
- 5 • Voltage**
 - 120: 120V
 - 277: 277V
 - 347: 347V (n/a with LED)
- 6 • Finish**
 - F05: White
 - F06: Clay brown
 - F08: Midnight blue
 - F09: Pewter
 - F10: Fire red
 - F13: Forest green
 - F14: Sunshine yellow
 - F15: Matte black
 - F16: Gloss black
 - F18: Flat aluminum
 - F19: Mirror silver
 - F21: Architectural bronze
 - F22: Harvest gold
 - F24: Melted platinum (textured)
 - F25: Melted gold (textured)
 - F26: Melted copper (textured)
 - F28: Dark champagne
 - F31: Silver metallic
 - F32: Bronze metallic
 - F33: Pyrite bronze
 - RAL: RAL custom color (specify)
- 7 • Dimming**
 - : None
 - DIM: CF dimming (Advance Mark 10 @)
 - DIMV: CF dimming (Advance Mark 7 @; 0-10V)
 - DIMD: CF dimming (Advance DALI)
 - DIME: CF dimming (Lutron Ecosystem @)
 - DIML: LED dimming (0-10V; current-sinking)
 - Note: n/a with 17W LED, 347V systems, or for outdoor CF applications)
- 8 • Emergency**
 - : None
 - EMR: Remote CF or LED (dry location only; CF 7ft., LED 20 ft. max. distance from lamp to EM; min. operating temp. +5°C/+40°F)
 - EMCR: Remote CF or LED cold pack (CF 7ft., LED 20 ft. max. distance from lamp to EM; min. operating temp. -20°C/-4°F)
- 9 • Lamp(s) Supplied CF/MH**
 - : None
 - 35K: Lamp supplied 3500°K (CRI 80)
 - 41K: Lamp supplied 4100°K (CRI 80)
- 10 • Accessories**
 - : None
 - BFL: Anti-glare baffle
 - GLS: Glass lens

LUMINAIRE CUT SHEETS
OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

OFFICIAL DEVELOPMENT PLAN
HARRIS PARK
BLOCK 35
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 15 OF 15



FIXTURE TYPE W3

LAREDO SERIES LMC - 30LEDs	Cat.#		
	Job	Type	

SPECIFICATIONS

Intended Use:
Full cut-off I.D.A. compliant perimeter or entry lighting for 10-18ft mounting heights that require high light output and maximum energy efficiency. Laredo LMC-30 LED wallpack provides low installation costs with little or no maintenance and up to 80% energy savings. Ideal for schools, factories, hospitals, warehouses and retail applications.

Construction:
Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for over 70% lumen maintenance at 50,000 hours minimum LED life. Lektrocoat® series powder paint finishes provide lasting appearance in outdoor environments. Five standard finishes include: Bronze, Black, Gray, White and Platinum.

Optics/Electrical LED:
30 High power LEDs delivers up to 7300 lumens at 700mA and up to 3489 lumens at 350mA. Variety of distributions – Types I, III and IV (Forward throw). High CRI LEDs provide excellent color rendition with up to 100 lumens per watt efficiency.

- CCT- 5000K/ 70 CRI, 4000K/ 70 CRI, 3000K/70 CRI
- Electronic driver 71w system (2 drivers, 2 circuits), 0.4 AMPS max, or 35w (1 driver, 2 circuits), 0.3 amps max, 120-277V and 347V and 480V, 50/60Hz
- Surge protection – 20KA; Turns fixture off at end of life; Includes LED for end of life indication (see surge suppressor page 2)

Lenses:
Full cut-off distribution - individual acrylic LED optics provide IES Type II, III and IV distributions.

Installation:
Quick mount system provides rigid mounting over recessed junction boxes – fixture does not require opening for mounting. Foam gasket for sealing to smooth surfaces provided. Superior performance with 5 to 1 spacing to mounting height ratio. Minimum operating temperature is -40°C / -40°F.

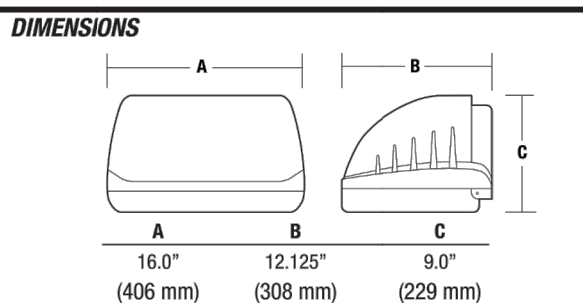
Controls:
Drivers are 0-10V dimming standard. Photocell and occupancy sensor options available for complete on/off and dimming control.

- Listings:**
- Listed to UL1598 for wet locations
 - 40° C ambient environments
 - U.S. Patent No. D563,587
 - DesignLights Consortium (DLC) qualified. Consult DLC website for more details: <http://www.designlights.org/DLC>

LMC-30LU Egress Wallpack:
Designed to meet strict 1fc minimum requirements. At 12ft mounting height 1fc covers 16x16ft area, well beyond the 10x10ft standard; No upright, external test button; 120V or 277V only; Rated -20° C to 35° C

Warranty:
Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

PRODUCT IMAGE(S)



ACCESSORIES/REPLACEMENT PARTS - Order Separately

Catalog Number	Description
LMC-SPC	Polycarbonate shield
PBT-1	120V button photocontrol
PBT-234	208/240/277V button photocontrol
93044764	40w, 700mA, 120-277V, 0-10V dimming driver
93052458	20KA surge protection with an end of life LED indicator
SCP-REMOTE	Remote control for SCP option; order at least one per project to program and control

PERFORMANCE DATA

# OF LEDES	DRIVE CURRENT	SYSTEM WATTS	DIST. TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 80 CRI)					
				LUMENS	LPW ¹	B	U	G	LUMENS	LPW ¹	B	U	G	LUMENS	LPW ¹	B	U	G	
30	350mA	35w	BBU*	3	1546*	-	-	-	1405*	-	-	-	1101*	-	-	-	-	-	-
			2	3870	111	1	0	1	3813	109	1	0	1	3622	103	1	0	1	
			3	3972	113	1	0	1	3913	112	1	0	1	3717	106	1	0	1	
			4	3903	112	1	0	2	3845	110	1	0	2	3653	104	1	0	2	
	700mA	70w	2	7064	101	2	0	2	6960	99	2	0	2	6612	94	2	0	2	
			3	7315	105	1	0	2	7207	103	1	0	2	6847	98	1	0	2	
			4	7141	102	1	0	3	7035	101	1	0	3	6683	95	1	0	2	

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application. Please consult IES files for BUG ratings.
*BBU emergency mode lumen output.

ELECTRICAL DATA

# OF LEDES	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	CURRENT (Amps)	SYSTEM POWER (w)
30	-035 (350mA)	120	0.33	35.00
		277	0.14	35.00
		120	0.60	70.00
	STD. (700mA)	208	0.35	70.00
		277	0.26	70.00
		347	0.22	70.00
		480	0.16	70.00

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	OPERATING HOURS				L70 (hours)
	0	25,000	50,000	TM-21-11 ¹ 100,000	
25°C / 77°F	1.00	0.97	0.95	0.95	>539,000

1. Projected per IESNA TM-21-11¹ (Nichia 219B, 700mA, 85°C Ts, 10,000hrs) Data references the extrapolated performance projections for the LMC-30LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

AMBIENT TEMPERATURE	LUMEN MULTIPLIER	
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99
50° C	122° F	0.98

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

- SURGE PROTECTION**
- Field replaceable surge protection device (SPD) provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3
 - The SPD is designed with a clamping voltage of 1600V at 20KA using industry standard 8/20µs waveform
 - Max surge current = 20,000 Amps (see table)
 - LED Indicator – Green LED is unlit at end of life

Pulse Rating (8 x 20 µSec)	cRUus		CE	
	I _n	10KA	5KA	
1	20,000 A			
2	15,000 A			
15	10,000 A			
120	3,000 A			

ORDERING INFORMATION

ORDERING EXAMPLE: LMC-30LU-5K-3-1-PC(4)

LMC - [] - [] - [] - [] - [] - []

SERIES	NUMBER OF LEDES/SOURCE/VOLTAGE	CCT	IES DISTRIBUTION	DRIVE CURRENT	FINISH	OPTIONS
LMC Laredo Medium Cut-off	30LU 30 LEDs, Universal voltage 120-277V	3K 3000K nominal	2 Type II	BLANK STD 700MA	1 Bronze	BBU¹ Integral battery for 120 or 277V rated for -20° C ambient; Available in 350mA (035) drive current only
	30L1 30 LEDs, 120V	4K 4000K nominal	3 Type III	035 350MA	2 Black	PC¹ Button photocontrol (must specify voltage per footnote 1, not available in 480V)
	30L2 30 LEDs, 208V	5K 5000K nominal	4 Type IV (Forward throw)		3 Gray	F¹ Fusing (specify voltage per footnote)
	30L3 30 LEDs, 240V				4 White	SCP^{2,3} Programmable motion control, factory default is 10% light output
	30L4 30 LEDs, 277V				5 Platinum	
	30LF 30 LEDs, 347V					
	30L5 30 LEDs, 480V					

SPECIFY SCP HEIGHT
8F Up to 8ft mount height
20F Up to 20ft mount height

1 Specify voltage, for PC¹ and F¹, replace X with 1-120V, 2-208V, 3-240V, 4-277V, 5-347V, 6-480V
2 Must enter minimum of one SCP-REMOTE to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120V-277V only
3 PC option not applicable, included in sensor

REVISIONS

NO.	DATE	DESCRIPTION
01	11/18/2019	INITIAL ODP SUBMITTAL
02	01/31/2020	CITY COMMENTS
03	02/12/2020	CITY COMMENTS

PROJ. NO.: 19056
DATE: 11/18/2019
DRAWN BY: PMP
CHECKED BY: DWR

LUMINAIRE CUT SHEETS
OLDE WESTMINSTER PUB & TAVERN
3915 WEST 73RD AVENUE - ODP

City Clerk's Office
City of Westminster
4800 West 92nd Avenue
Westminster, CO 80031
RESOLUTION NO. 50

RESOLUTION

20060928000979260 Adams Co 1/1
09/28/2006 11:45:26AM \$.00
Carol Snyder, Clerk \$6.00

INTRODUCED BY COUNCILLORS

Mayor - Lindsey

SERIES OF 2006

TO DESIGNATE THE RODEO SUPER MARKET AS A
LOCAL HISTORIC LANDMARK

WHEREAS, the Rodeo Super Market, also known as the Rodeo Market, is historically significant because it is more than fifty years old and it:

1. Exemplifies the economic and social heritage of Westminster;
2. Represents an association with a notable person in the history of 20th century Westminster; and
3. Enhances a sense of identity for Westminster residents;

WHEREAS, the City Staff has caused the historical significance of the property to be documented and has applied to the Historic Landmark Board for a recommendation as to whether the site should be designated as a local historic landmark, and

WHEREAS, the Historic Landmark Board has held a public hearing and passed a resolution recommending that the site be designated as a local historic landmark,

NOW, THEREFORE, the City Council of the City of Westminster resolves that:

1. The Rodeo Super Market be designated as a local historic landmark pursuant to Section 11-13-5 of the Westminster Municipal Code.

2. Description of features that should be preserved:

Barrel vault roofline

- Stepped parapet façade, large front windows and front door documented in 1966 and 1971 photos
- Original brick façade shown in 1966 photo
- Sign as it appeared in 1966 photo

Notes: The only original architectural feature extant in the building at this time is the barrel vault roofline. The front façade, windows, door, brick and sign must be restored in order to be preserved. If restored, it is the intent of this resolution that these features be restored consistent with the 1966 photo included in the application.

3. The legal description and location of the property are:

Address and general location: 3915 West 73rd Avenue, between Lowell and Bradburn Boulevards

Legal Description: Beginning 60 feet west of the SE corner of Block 35, Harris Park, thence east along the north line of 73rd Avenue (Walnut Street) 140 feet to the SW corner of House's Resubdivision of Block 34, Harris Park, thence north along the west line of Block 34 a distance of 120 feet; thence west 140 feet; thence south 120 feet to the point of beginning; SE/4 Sec. 31, Township 2 South, Range 68 West, Sixth Principal Meridian, Adams County, Colorado.

UTM coordinates: UTM Zone 13
Datum NAD 27
Linear Unit: meter
496700.74; 4408607.80

PASSED AND ADOPTED this 25th day of September, 2006.

Nancy McNally
Mayor

ATTEST:

Linda Jensen
City Clerk

**HISTORIC LANDMARK BOARD
RESOLUTION NO. 2020-01**

**A RESOLUTION AUTHORIZING A CERTIFICATE OF HISTORIC APPROPRIATENESS FOR
CONVERSION OF EXISTING BUILDING INTO A RESTAURANT/PUB.**

WHEREAS, 3915 West 73rd Avenue, Adams County, Westminster, Colorado was designated a local historic landmark in 2006, and;

WHEREAS, The City of Westminster has partnered with a developer to convert the existing building into a restaurant/pub, and;

WHEREAS, the Westminster Municipal Code Section 11-13-10 (A) requires a certificate of historic appropriateness be approved by the Historic Landmark Board for any work other than maintenance and repair, and for which a building permit is required, on a property subject to an historic designation, and;

WHEREAS, the proposed alterations will maintain and preserve the historic character of the property, and;

WHEREAS, the Board has considered the criteria set forth in Westminster Municipal Code Section 11-13-10 (H) and has found compliance with Section 11-13-10 (H), subsections 1 through 11 as applicable, and;

WHEREAS, the Board is required to hold a noticed public hearing pursuant to Section 11-13-7 of the Westminster Municipal Code:

NOW, THEREFORE, the Historic Landmark Board of the City of Westminster resolves that a certificate of historic appropriateness be approved for the conversion of 3915 West 73rd Avenue to a restaurant/pub.

PASSED AND ADOPTED this 26th day of February, 2020.

THE WESTMINSTER HISTORIC LANDMARK BOARD

Matthew Bell, Interim Board Chair

Agenda Item 4. a) Updates on Historic Properties

CITY-OWNED DESIGNATED HISTORIC PROPERTIES

a) Bowles House at 3924 West 72nd Avenue

1. The old shops building near the Bowles House has been removed and the historic viewshed on 72nd has been restored. The Open Space division will reseed the site and a playground will be constructed in the future. (3-23-18)
2. Shoenberg farm equipment relocated from adjacent City property adjacent to, and west of the Bowles House to the Bowles House lot. Signage reinstalled, irrigation heads relocated, and bark mulched area for display prepared. (10-17)
3. Repairs to damage of landscape and irrigation complete. (9-1-15)
4. Gutter installation in September. (9-1-15)
5. Soffit repair complete. (7-15-15)
6. Plans for soffit repair and gutter installation received. (12-11-14)
7. Contract commencement for soffit repair and gutter replacement. (12-2-14)
8. Notification of award of grant for Bowles House soffit repair and gutter replacement. (6-3-14)
9. Certificate of Historic Appropriateness for soffit repair and gutter replacement to be reviewed at a public hearing on 6-3-14. (5-29-14)
10. Grant application for Bowles soffit and gutter repair reviewed by HLB 3-4-14. Resolution for support reviewed by HLB. Grant application due April 1, 2014. (3-4-14)
11. New fence and arch gate and landscape wall repair at north side of parking lot complete. (5-21-13)
12. East Porch and wall crack repair complete. (5-1-12)
13. North porch repairs complete, includes repointing east chimney. (5-1-12)
14. Landscaping trimmed and groomed. (9-4-12)
15. Soffit deterioration repair complete. (12-4-12)

b) Semper/Allison Farm at 6785 West 92nd Avenue

1. **Roof replacement scheduled to take place in late Spring/early Summer (weather dependent). (2-17-20).**
2. Quotes being gathered for roof replacement on barn and garage. Certificate of Historic Appropriateness hearing November 27, 2019. (11-15-19)
3. Windows repaired. (6-14-19)
4. Broken windows due to vandalism at Semper Farm Residence. Repairs completed. (5-14-2019)
5. Roof replacement project on Semper Farm Residence completed. (4-29-2019)
6. Certificate of Historic Appropriateness approved for roof replacement on Semper Farm residence. (2-27-2019)
7. Discussion to add a trellis/arch to the garden plot area of the farm. Parks and Open Space Division has put the trellis/arch on hold until there is a better idea of the direction for the Semper Farm. (10-29-15)
8. Discussion of security issues and need for review. (8-19-15)
9. Semper/Allison 3-car stall garage public hearing review for Certificate of Historic Appropriateness for proposed demolition. (1-6-15)
10. Semper signs installed and site groomed in July – August, 2014. (12-2-14)
11. The Semper signs are complete and will be installed the second week of June. Parks has been great in working to get a trail in place. Presently, they have mowed them in

- and will spray to kill the grass, and then by early fall they are looking to have a volunteer open space project to finish the trail with crusher fines. (6-3-14)
12. Proposed informational panels reviewed by the HLB on 3-4-14. (5-29-14)
 13. Notice that grant for barn rehab not awarded. (9-3-13)
 14. Grant application submitted to the State Historic Fund April 1, 2013. Funding is sought for the repair and stabilization of the Semper/Allison barn. HLB reviewed proposal 3-5-13. Notice of grant award by August 1, 2013. (5-21-13)
 15. Grant application submitted November 15, 2012 to add informational signage at the Semper Farm. Grant awarded, and contract negotiations and sign review in process. (3-4-14)
 16. The non-profit Rocky Mountain Land Library is interested in the Semper farmhouse as a site for their collection. Meeting held on August 27, 2012. Decision of land library later in 2012. Decision delayed to early 2013. (3-5-13)
 17. The Semper Farm Master Plan continues to evolve. Staff met to review next steps. (3-5-13)
 18. In 2009 there was damage to the stucco and roof shingles on the restored 1960 well pump house and flagstone patio damage adjacent to the 1880's well. Repairs have not been completed. (8-7-12)

c) Shoenberg Farm at 7231 Sheridan Boulevard

1. Concrete Silo
 - i. Rehab work on the concrete silo is complete. (5-1-12)
2. Wood silo
 - i. Rehabilitation complete. (7-15-18)
 - ii. Roof repair, repainting, wood repairs/replacement, and tree at foundation removed. (2-26-18)
 - iii. Certificate of Historic Appropriateness hearing. (10-3-17)
 - iv. No change in status. (5-1-12)
3. Farmhouse
 - i. Agreement with City Engineering Staff and SHF to mothball the structure. (10-4-17)
 - ii. No change in status. (5-1-12)
4. Barn
 - i. Easement inspection performed for entire Shoenberg Farm property. (10-9-19)
 - ii. Easement inspection performed for entire Shoenberg Farm property. (7-31-18)
 - iii. In November Westminster Historic Society and Fire Department volunteers moved numerous boxes and artifacts of Shoenberg history into the barn. (12-1-15)
 - iv. The City has prepared a draft landscape and parking plan for the area west of the barn. The City has commissioned basic cost estimates for installing utilities, bathrooms and minor interior finish for potential office or restaurant use. The estimates and the landscape plan will be used to market the site to potential users. (8-7-12)
5. Pumphouse/Generator building
 - i. **Broken window has been secured.** (2-18-20)
 - ii. Quotes being gathered for replacement of broken window. (11-13-19)
 - iii. Rehab complete; new foundation poured, roof repaired, door replaced. (7-15-18)
 - iv. Certificate of Historic Appropriateness hearing. (10-3-17)
 - v. No change in status. (5-1-12)

6. Garage
 - i. City Engineering Staff and SHF agree to mothball the structure. (10-4-17)
 - ii. Apartment north door on the upper level has been repaired and secured. (5-21-13)
7. Milk House
 - i. **Broken window has been secured. (2-18-20)**
 - ii. Quotes being gathered for replacement of broken window. (11-13-19)
 - iii. Rehabilitation complete. (5-2-17)
 - iv. Stabilization of south wall necessary. Foundation stabilization costs have exceeded budget. Request to City Council in August to allocate funds for extra costs for milk house improvements. (8-2-16)
 - v. Rehabilitation underway: foundation stabilization in progress; roof replacement in progress; window rehabilitation in progress. (6-7-16)
 - vi. Contracts for foundation stabilization to be approved by City Council 4-16, and work to begin end of April, 2016. Two contracts for foundation work will total \$232,673. Construction fence has been installed. (4-5-16)
 - vii. Project manager has scheduled concrete work in Spring of 2016. SHF staff agreed to extend contract due to difficulty of finding sub-contractors willing to do small projects. (8-27-15)
 - viii. Bids received in June, 2014 rejected as too high. Bid proposal reissued in August and no bids received. SHF will allow Staff to act as contractor and coordinate sub-contracts to complete the rehabilitation. Contract extended to June 2015. (12-2-14)
 - ix. Bids are due in mid-June, contract negotiations the following month, construction anticipated to begin in August, 2014. (6-3-14)
 - x. Notice on February 3, 2014 that grant for window and roof repair not awarded. (3-4-14)
 - xi. A grant application was submitted to the State Historic Fund October 1, 2013. Funding is sought for window repair and roof repair. HLB reviewed the proposal 3-5-13. Grant notification by February 1, 2014 (12-3-13)
 - xii. Notice on June 1, 2013 that grant for window and roof repair not awarded. (9-3-13)
 - xiii. A grant application was submitted to the State Historic Fund April 1, 2013. Funding is sought for window repair and roof repair. HLB reviewed the proposal 3-5-13. Grant notification by June 1, 2013 (5-21-13)
 - xiv. A grant application was submitted to the State Historic Fund on April 1, 2012 to seek funding for partial rehabilitation of the Milk House. On August 20, 2012 the City learned that a partial grant was awarded. Contract with the State Historic Fund is in place. Rehabilitation anticipated to start in Summer, 2014. Request for bids to be issued April, 2014. (3-4-14)
 - xv. Windows boarded on the Milk House, the farmhouse, and the pumphouse/generator building. (12-4-12)
8. Quonset demolished by Tepper family. (12-3-13)
9. Truck repair shop and milk processing plant demolished by Tepper family. Land is still owned by the original landowner, the Tepper family. Land is now vacant. (8-2-16)

d) Church's Stage Stop Well at 10395 Wadsworth Boulevard

1. Recognized as a Jefferson County historic landmark on October 22, 2015. (12-1-15)
2. Review by City's Historic Landmark Board of nomination as a Jefferson County Historic Landmark. (9-1-15)

3. The HLB nominated this site as a Jefferson County historic landmark at their 6-4-13 meeting. (9-3-13).
 4. A historic plaque was installed at the site in April, 2012. (5-1-12)
- e) Westminster's First Town Hall at 3924 West 72nd Avenue
1. New roof completed. (10-3-17)
 2. Temporary roof repair due to animal damage. (5-2-17)
 3. Roof repairs in September 2014 and May 2015 due to raccoon damage. (9-1-15)
 4. No change in status. (8-7-12)
- f) Marion Barn at SWC 120th & Pecos Street
1. HLB recommended designation as a local historic landmark on December 4, 2012. City Council designated as a local historic landmark on January 14, 2013. (3-5-13)
- g) Wesley Chapel Cemetery at NEC 120th Avenue and Huron Street
1. Fencing and pillars are 95% complete (minor touch-ups remaining). Phase 2 will be determined by remaining funds; priorities include the parking area and trail to the north gate, planting of street trees and irrigation along the perimeter, and interpretive signage. (2-18-20)
 2. Construction of the brick pillars has begun. Foundations are complete. Following the column completion, the fencing contractor will install gates and iron style decorative fencing. The second phase of work will be to construct the small gravel parking area and gravel footpath to the cemetery entrance on the north side. Along with this will be tree plantings along Huron and 122nd. A schedule for this work has not been determined, and the City is looking to self-perform this second phase work in spring 2020. (10-28-19).
 3. Fence and column work is out for bid; bid results expected late June. Construction to start around September, 2019. (6-17-19)
 4. Archaeologist selected for monitoring of cemetery site while ground disturbing work is taking place. (4-16-2019)
 5. Annual Wesley Chapel Cemetery Association Board meeting held. The Association reviewed the conceptual design for improvements to the cemetery (4-6-2019).
 6. 2019 CIP funding in the amount of \$200,000 adopted by City Council for improvements to Wesley Chapel Cemetery. (10-8-18)
 7. Certificate of historic appropriateness approved by the Historic Landmark Board for improvements to the site. Funding is being sought for improvements through the 2019/20 budget process. (6-5-18)
 8. Annual Wesley Chapel Cemetery Association Board meeting held. (4-14-18)
 9. Additional family information for one of the plots has been received and added to the other documentation of persons buried there. (5-21-13)
 10. The Cemetery Board annual meeting was held April, 2013. (5-21-13)
 11. A brochure has been completed. (5-1-12)
 12. Documentation of the individuals buried in the cemetery is complete. (5-1-12)
- h) Lower Church Lake Barn and Silo at 10850 Wadsworth Boulevard
1. No change in status. (8-7-12)
- i) Rodeo Market at 3915 West 73rd Avenue
1. The building is being used for various temporary purposes. (9-5-18)

- j) Metzger Farm at 12080 Lowell Boulevard (jointly owned with City and County of Broomfield)
1. Historic signage in fabrication. All other site projects completed. Open Space is working with the academy school across the street to re-establish the historic Victory garden on site as a collaborative project that will bring k-12 students to the farm. Work on the garden is expected to begin in Spring 2020. (11-13-19)
 2. Contract in place for historical interpretive signage, expected to be installed in September, 2019. Interviews with the Metzger family will take place in June, 2019. Building completion is expected by July, 2019. (6-17-19)
 3. A contractor has been selected for phase two of the project which includes stabilization, siding repair, and new roofs for all of the remaining structures. All structures and interpretive signs are planned for completion by late spring of 2019. The Broomfield-Westminster Open Space Foundation is working on details for having a person live in the caretaker's house. (11-19-18)
 4. City Council approved an IGA between Westminster, the City and County of Broomfield, and the Broomfield-Westminster Open Space Foundation for the use of grant funds to complete the restoration of the property. (1-22-18)
 5. Section 106 Determination of Effect for drainage and trail section at the southeast part of the Farm site. Comments due January 29, 2015. (12-30-15)
 6. Section 106 review for Nissen Channel Improvements. City letter of support on 10-22-14. (12-2-14)
 7. Listed by the US Department of the Interior, National Park Services on the National Register of Historic Places on March 20th, 2013. (5-21-13)
 8. Nomination reviewed and supported by the HLB on 9-4-12. (3-5-13)

NON-CITY-OWNED DESIGNATED HISTORIC PROPERTIES

- k) Harris Park School at 7200 Lowell Boulevard (designated landmark)
1. Open house for Westminster History Research Center held 12-3-13. (12-3-13)
 2. Adams County School District 50 has discussed funding a "Westminster History Research Center" to be located in this building. School Board member Marilyn Flachman is main contact for this. (3-5-13)
- l) Union High School at 3455 West 72nd Avenue (designated landmark)
1. The building is owned by Adams County School District 50. (12-3-13)
- m) Westminster Grange Hall at 3935 West 73rd Avenue
1. The building continues to be used for Grange events. (5-1-12)
- n) Penguin Building at 7265 -7269 Lowell Boulevard
1. Discussion of status of attached garage inconclusive. (5-2-17)
 2. Buildings adjacent demolished in November, 2015. (12-1-15)
 3. Discussion of structural concerns with City Development Review Committee. (10-3-14)
 4. HLB discussion of repairs to Lowell Street façade, and addition of awnings. (8-7-12)
- o) Red & White Grocery at 3947-3949 West 73rd Avenue
1. HLB discussion of 73rd Avenue façade. (8-7-12)

- p) Savery Savory Mushroom Farm Water Tower at 110th & Federal Boulevard – at the east side of Federal
1. City discussion with Savory Farms HOA of access to base of site. (8-7-12)
- q) Margaret O’Gorman House at 8198 Irving Street
1. COHA approved by HLB for sewer line repair and HVAC installation. (6-26-19)
 2. Home is under contract, expected to close June 28, 2019. (6-19-19)
 3. Current homeowner planning to list for sale. (3-25-19)
 4. Foundation stabilization work completed. (10-1-18)
 5. Certificate of historic appropriateness approved for foundation stabilization. (8-22-18)
- r) Gregory House Residence at 8140 Lowell Boulevard
1. No change in status. (9-3-13)
- s) Merton and Mary Williams Residence at 7335 Wilson Court
1. No change in status. (9-3-13)
- t) Perry House Residence at 4199 West 76th Avenue
1. No change in status. (9-3-13)
- u) Henry House Residence at 7319 Orchard Court
1. No change in status. (9-3-13)
- v) Westminster Presbyterian Church at 3990 West 74th Avenue
1. Designated a local historic landmark by Westminster City Council (01-13-20)

HISTORIC PROPERTIES NOT IN THE CITY OF WESTMINSTER

- w) Mandalay School – (Not a designated historic property)
1. Needs assessment complete and approved November, 2015. (12-1-15)
 2. Site visit by City Staff and contract of city’s General Services with SLATERPAULL to perform a building needs assessment. (7-15)
 3. Charlie Mc Kay, the owner of the Mandalay School at the southeast corner of Wadsworth Boulevard and 103rd Avenue has initiated discussion with the City to donate the land and the building to the City. (5-29-14)
 4. The City Manager has authorized staff to proceed with discussions for the acquisition.
 5. If the City accepts the property there are several actions needed that include:
 - i. Annexation into the City of Westminster
 - ii. Designation of a land use for the Comprehensive Land Use Plan (CLUP)
 - iii. Approval of a Preliminary Development Plan (PDP) that shows the zoning
 - iv. Approval of an Official Development Plan (ODP) that shows the site plan and the building elevations
 - v. Designation of the site as a local historic landmark
- x) Pillar of Fire (Westminster University) at 3450 West 83rd Avenue
1. No change in status. (12-4-12)